



**FOREST PARK SOUTHEAST
DEVELOPMENT COMMITTEE**

November 13, 2018

5:30 P.M.

MEETING AGENDA

1. **Introductions**5 Minutes
2. **Minutes from September 25, 2018**2 Minutes
3. **4211 Arco:** Request for Community support for a Rehab & Historic Tax Credit Project
 - Park Central Presentation.....5 Minutes
 - Business Presentation5 Minutes
 - Public Comments.....5 Minutes
 - Committee Comments.....5 Minutes
3. **4475 Chouteau:** Request for Community support for the project
 - Park Central Presentation.....5 Minutes
 - Business Presentation5 Minutes
 - Public Comments.....5 Minutes
 - Committee Comments.....5 Minutes
4. **Missouri Foundation For Health Columbia Iron Works Site Update.....**10 Minutes
5. **Discussion: Approval of Special Events in FPSE.....**10 Minutes
6. **Closed Session**10 Minutes
7. **December Meeting Date.....**2 Minutes



FPSE Development Committee Meeting Minutes
September 25, 2018 at 5:30 pm
at 4512 Manchester, St. Louis, MO 63110

Committee members in attendance: John Boldt, Guy Slay, Brian Phillips, Tom Ernst, Sharon Blaine, Patrick Brown (via phone), Patrice Willis, Mark Mangapora, Meredith Jones

Committee members not present: David Wolfe, Kasan Moore

Staff in attendance: Abdul Abdullah and Annette Pendilton

Others in attendance: Luke Henson (Washington University), Joe Brinkmana (Trivers), Dan Harbaugh (Ronald McDonald House)

1. Call to Order:

J. Boldt called the meeting to order at 5:31 pm.

2. Minutes from August 28, 2018

M. Mangapora motioned to approve minutes with corrections for August 28, 2018 meeting minutes. P. Willis seconded. Minutes approved with corrections passes 7-0-2 B. Phillips and M. Jones - Abstained

3. 4321 Chouteau: Request for support for demolition of all structures on all properties and community support for the project..

A. Abdullah read the proposal to the board. Copy of the report can be requested with Park Central Development staff.

Park Central Development recommends support of the project with the following conditions:

1. That a property maintenance plan for the upkeep of the property (grass cutting, weeds, tree trimming, snow removal) be developed for the site until construction begins.
2. Ronald McDonald House integrate its exterior cameras into FPSE camera system during construction and upon completion of the project and coordinate with the NSI to address safety and security concerns around the property, as well as develop a communication strategy with the NSI for any public safety issues concerning children at their property.
3. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

Presentation by Ronald McDonald House. Dan Harbaugh, President of Ronald McDonald House gave an update on the history and where the Ronald McDonald houses are currently located. Joe Brinkmana of Trivers gave a presentation of what the

intentions are for the project. He will present a final product to the board once they have secured donations to fund the project. He is here today to get the FPSE Development Committee support for demolition on all structures on all properties.

4. Public Comments: None

5. Closed Session

A. 4321 Chouteau -

G. Slay motioned to support the demolition of on all structures on all properties with the following conditions:

1. That a property maintenance plan for the upkeep of the property(grass cutting, weeds, tree trimming, snow removal) be developed for the site until construction begins.
2. Ronald McDonald House integrate its exterior cameras into FPSE camera system during construction and upon completion of the project and coordinate with the NSI to address safety and security concerns around the property, as well as develop a communication strategy with the NSI for any public safety issues concerning children at their property.
3. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

S Blaine seconded. The motion passes 9-0-0

- 6. Discussion:** M. Mangapora wants to know who should present projects to the committee on behalf of developers. Example of Everest Café presenting for the developer. It was understood that the Dr. and Connie States' will be the owners of the property. B. Phillips suggested that in the future during the application process, ask to “demonstrate site control”.

- 7.** Meeting adjourned at 6:25 pm.

4211 Arco Ave.

Site Address: 4211 Arco Ave.

Request: Community Support for the project

Contact Person(s): Jay De Long

Mailing Address: 3851 Utah Place, 63116

Owners / Principals: James De Long & Megan Power

Project Information

History of site

The building was constructed in 1893. The building possesses some unique architectural elements - more typical of Soulard neighborhood. The adjacent building was condemned and demolished Sept 2018.

Proposed Project

The proposed project will restore a historic brick (3) three level shotgun family home that was built with a detached garage. The garage will also be restored and contain one parking spot. The project is a historic tax Credit project. The project is adjacent to the proposed Arbo on Arco project. The project will remove a derelict building and eye sore from the neighborhood.

Parking

There will be two (2) Park Spaces in rear parking

Current Zoning: NC1 (Neighborhood Center Type 1)

Project Costs:

Acquisition:	\$ 69,001
Pre-development Soft Cost:	\$ 21,000
Construction Cost:	\$ 190,000
Total:	\$ 270,000

4211 Arco Ave.

Project Timeline:

Site Control:	Currently Owned
Construction Start:	December 2018
Construction Complete:	September 2019
Occupancy:	March 2020

Relevant Experience

The owner has previously restored property per Department of Interior's Standards of Historic Rehabilitation standards.

Will the project seek financial incentives from the City of St. Louis? Yes incentives/tax abatement will be sought for this project through SLDC.

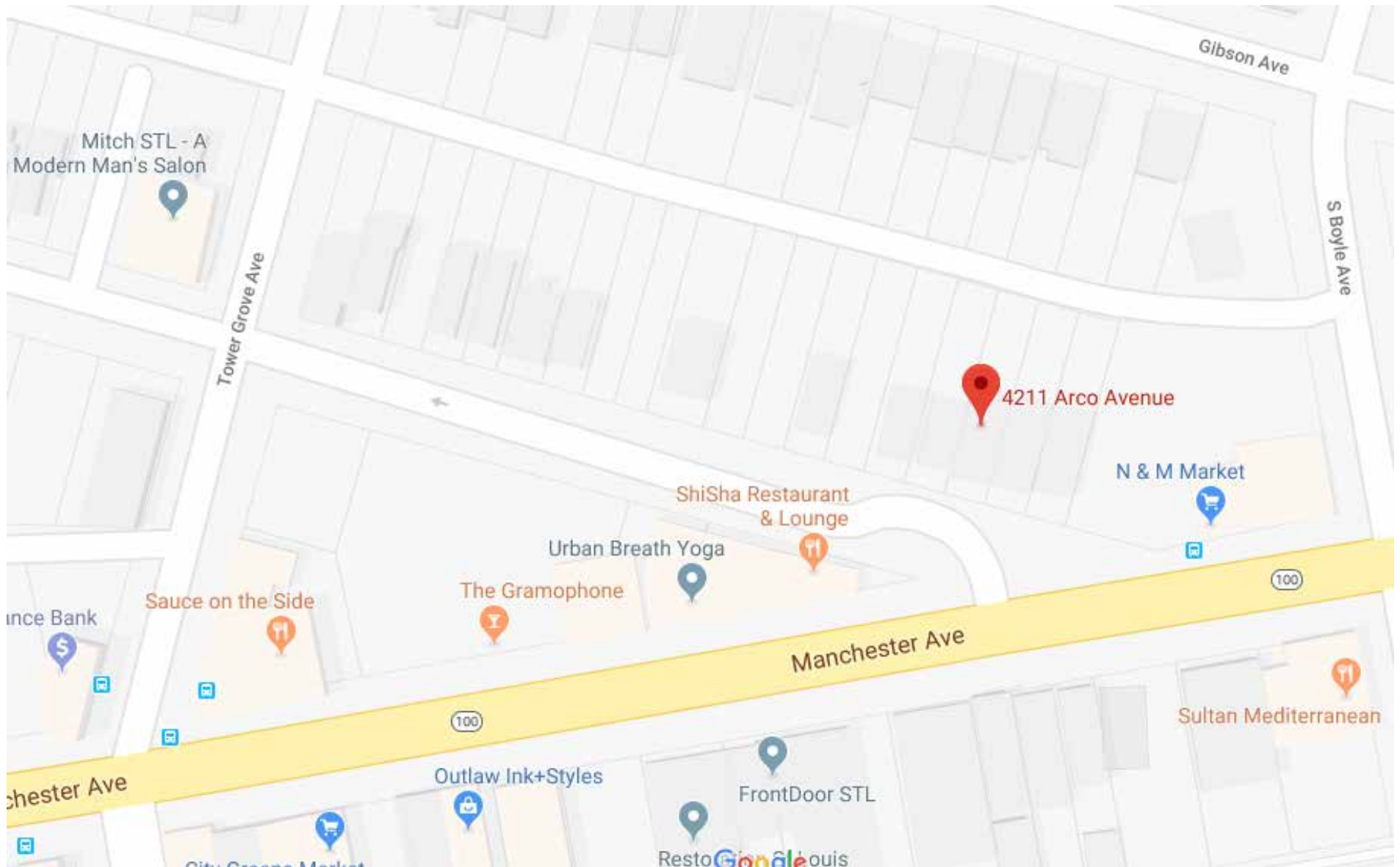
Park Central Recommendation

Park Central Development recommends support of this project and support of the demolition of the current buildings with the following conditions:

1. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

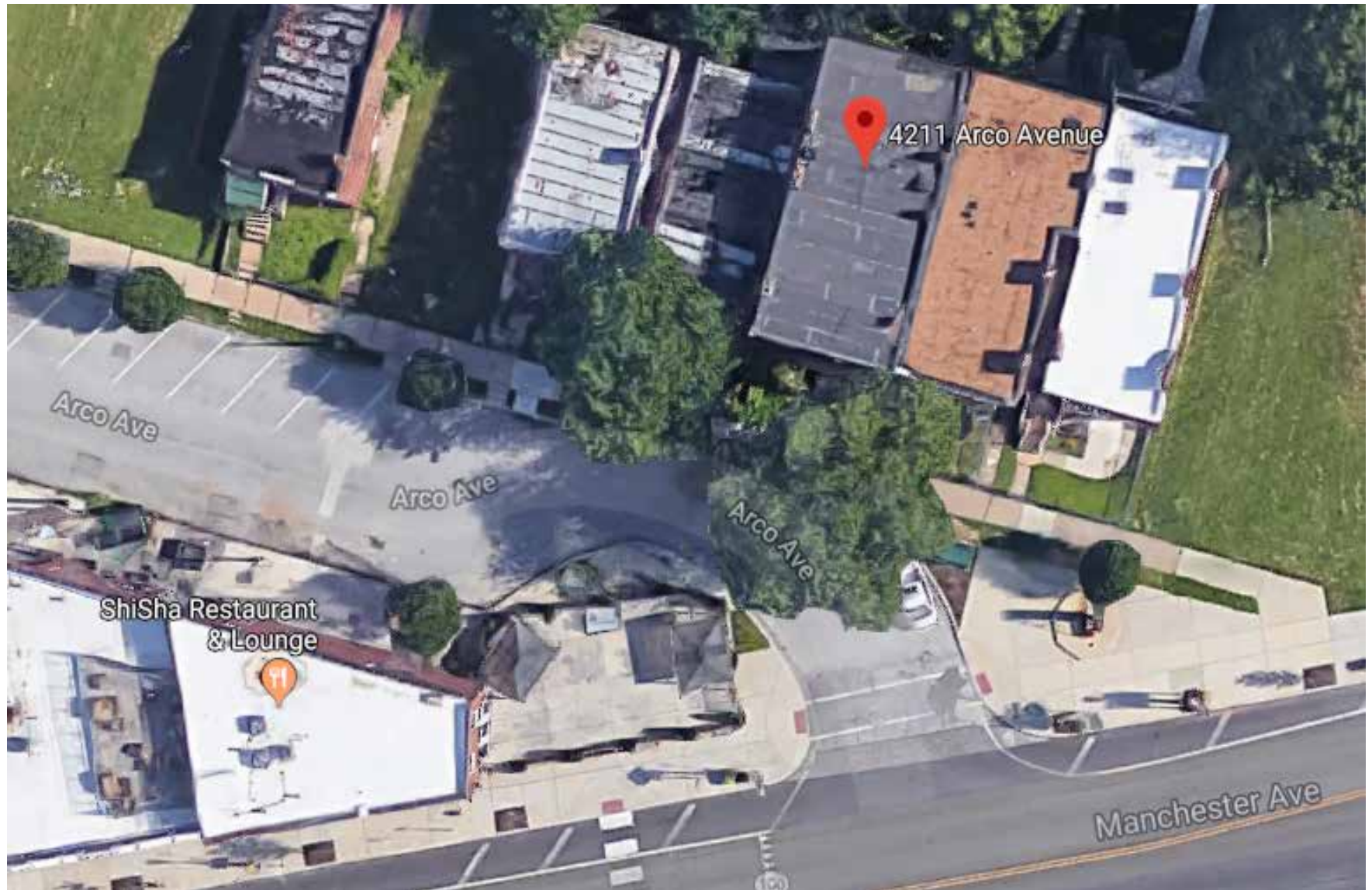
4211 Arco Ave.

Site Map



4211 Arco Ave.

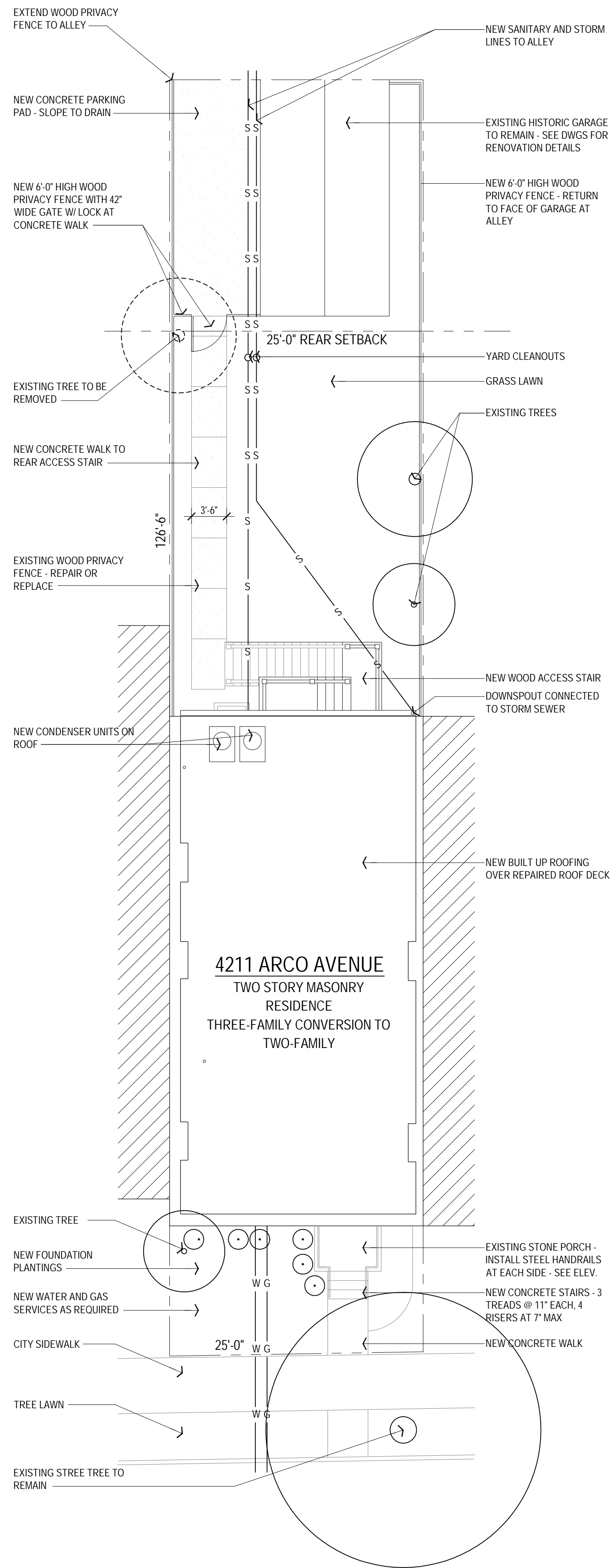
4211 Arco Aerial View



4211 Arco Ave.

(View of Site)





Site Plan

4211 Arco Avenue, 63110

SCALE: 1/8" = 1'-0"



SHEET LIST SUMMARY		DRAWING SET			
SHEET TITLE	DESCRIPTION	ISSUE DATE		Histric Tax Credit Application	Bid Set
		12/28/10	1/15/10		
A0.1	Cover, Sheet List, Code Notes	•	•		
A0.2	General Notes, Symbols, Site Plan, Wall Types	•	•		
A1.0	Existing Conditions - Floor Plans	•	•		
A1.1	Existing Conditions - Exterior Elevations	•	•		
A2.0	Demolition - Floor Plans	•	•		
A2.1	Demolition - Exterior Elevations	•	•		
A3.0	Floor Plans	•	•		
A3.1	Exterior Elevations	•	•		
A3.2	Sections / Exterior Details	•	•		
A3.3	Wall Sections / Exterior Details	•	•		
A3.4	Framing Plans	•	•		
A4.0	Interior Details	•	•		
A4.1	Interior Details	•	•		
		12	13	0	0



Photograph - Front

4211 Arco Avenue, 63110

SCALE: NTS



Photograph - Rear

4211 Arco Avenue, 63110

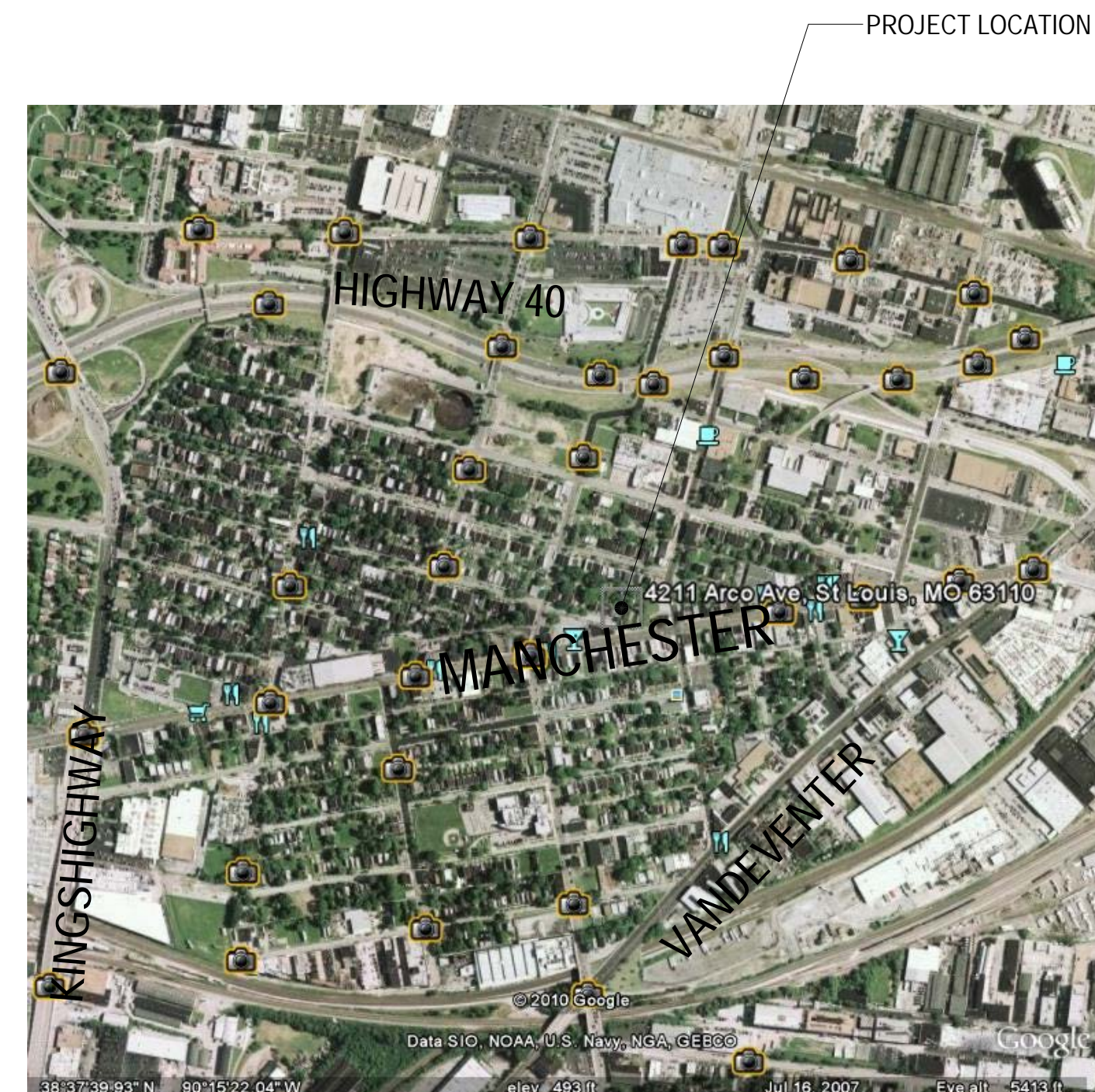
SCALE: NTS

Grove House Residential Renovation

4211 Arco Avenue
Saint Louis, Missouri 63110

Project No. 09.021.00
Historic Tax Credit Package - Not for Construction

Structural
SSC Swim, Schuchat & Cornett Engineering, Inc
18207 Edison Avenue
St. Louis, MO 63005
ph: 636.530.7770x107 fax: 636.530.7877
Contact: Rich Kwiatowski, PE, SE - rkwiatowski@sscengineering.com



Location Map

4211 Arco Avenue, 63110

SCALE: NTS



HKWArchitects

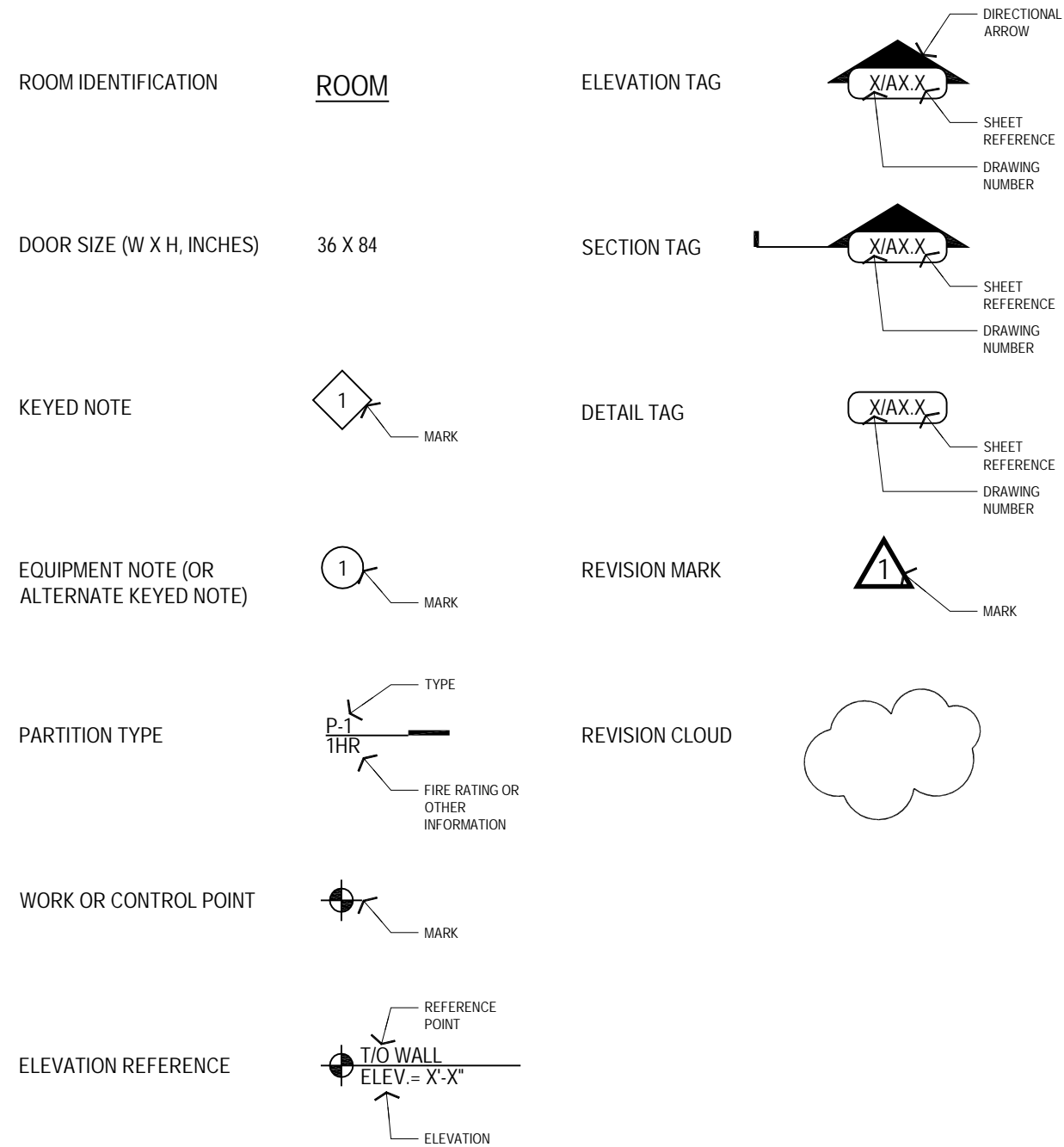
5017 Washington Place Suite 200 St. Louis, Missouri 63108 314.361.0000 ph. 314.361.9191 fax www.hkwarchitects.com



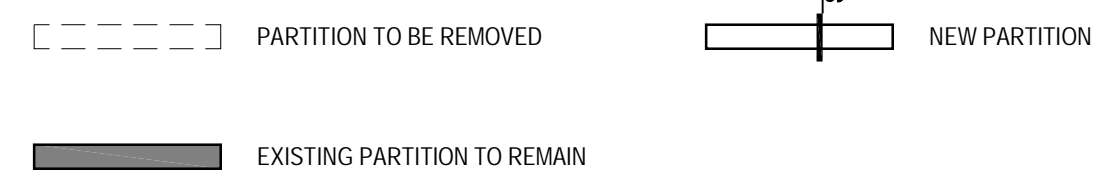
4211 Arco Avenue, St. Louis, Missouri 63110
Historic Tax Credit Package
10.004.00
28 December 2010

HKWArchitects

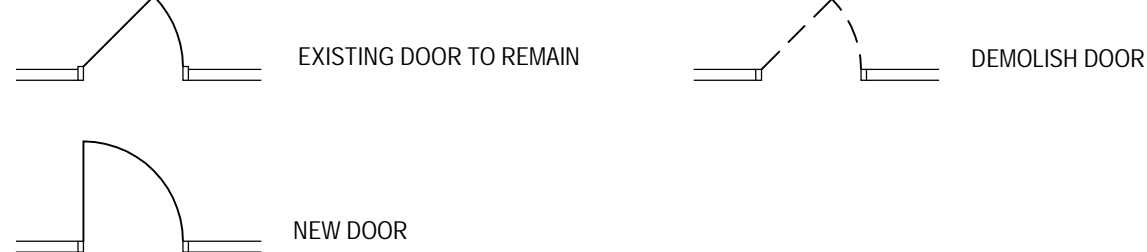
SYMBOLS LEGEND



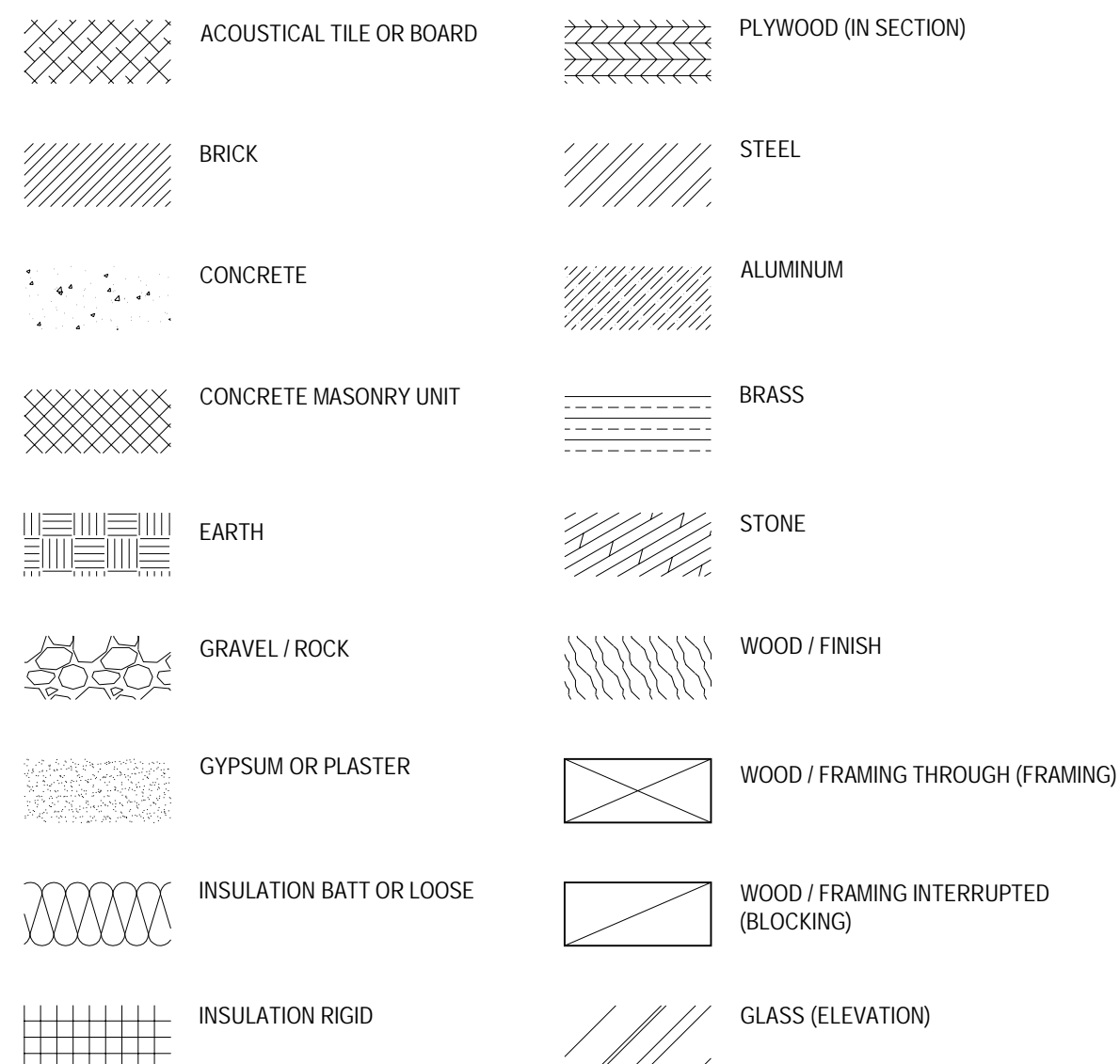
PARTITION LEGEND



DOOR LEGEND



MATERIAL LEGEND (IN SECTION UNLESS NOTED)



DEVICE LOCATIONS

SPECIFICATIONS FOR LOCATION OF DEVICES

LAYOUT OF WORK. THE CONTRACTOR SHALL EXERCISE SPECIAL CARE IN THE VERIFICATION OF EXISTING CONDITIONS & DIMENSIONS, ALONG WITH THE LAYOUT OF HIS WORK. THE ALIGNMENT & COORDINATION OF HIS WORK WITH ITSELF AND OTHER ADJACENT WORK IS OF PRIMARY IMPORTANCE & SHOULD TAKE PRECEDENCE OVER DIMENSIONS, ESPECIALLY THOSE INDICATED AS APPROXIMATE. THE CONTRACTOR SHALL LAYOUT & VERIFY HIS WORK TO INSURE ALIGNMENT & FIT, AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

LOCATION OF DEVICES IN FINISHED AREAS:

- LOCATION OF WALL DEVICES AS SHOWN ON PLANS IS APPROXIMATE & FOR ESTIMATING PURPOSES ONLY.
- WHEN MOUNTING MULTIPLE DEVICES FROM DIFFERENT TRADES IN THE SAME LOCATION (SUCH AS LIGHTING SWITCHES, THERMOSTATS, ETC), THEIR ARRANGEMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

LOCATE DEVICES AS SHOWN ON THE ARCHITECTURAL PLANS, ELEVATIONS, OR SECTIONS.

WHEN SHOWN ON MECHANICAL OR ELECTRICAL DRAWINGS, BUT NOT ON ARCHITECTURAL DRAWINGS, DEVICES SHALL BE UNIFORMLY AND SYMMETRICALLY MOUNTED. VERTICALLY ALIGNED DEVICES MOUNTED AT HEIGHTS INDICATED, UNLESS SEPARATED HORIZONTALLY BY A MINIMUM OF 24".

DEVICES INSTALLED IN MASONRY OR SURFACES TO RECEIVE WOOD PANELS, WALL COVERING, OR SIMILAR MATERIALS SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT TIME OF ROUGH-IN.

IF THE CONTRACTOR HAS ANY DOUBTS REGARDING THE LOCATION OF DEVICES, HE SHOULD CONSULT WITH THE OWNER'S REPRESENTATIVE PRIOR TO ROUGHING-IN.

- DEVIATIONS FROM THE ABOVE PRINCIPLES WITHOUT PRIOR APPROVAL BY THE OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE CONTRACTOR. ANY COST, INCLUDING CUTTING & PATCHING, ENTAILED IN THE REMOVAL, RELOCATION, AND REINSTALLATION OF ANY DEVICES SHALL BE THE RESPONSIBILITY OF THAT CONTRACTOR.

PROJECT GENERAL NOTES

STANDARDS AND REGULATIONS

- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, & SIMILAR STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS & SIMILAR RELEASES REQUIRED FOR CONSTRUCTION & OCCUPANCY. CONTRACTOR SHALL FURNISH COPIES OF ALL SUCH ITEMS TO OWNER & ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER & ARCHITECT REGARDING THE STATUS OF INSPECTIONS.
- CONTRACTOR SHALL COORDINATE WORK WITH ANY AND ALL APPLICABLE UTILITY PROVIDERS.
- CONTRACTOR SHALL BE FAMILIAR WITH & WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-RATED ASSEMBLY TESTS & STANDARDS.
- IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL CEASE WORK IN THE AREA AND CONTACT OWNER'S REPRESENTATIVE IMMEDIATELY.

ADMINISTRATION OF THE WORK

- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS & SEQUENCES OF CONSTRUCTION.
- CONTRACTOR SHALL BE SOLEY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL & AUTHORIZED VISITORS.
- CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS & ACTUAL CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN & PROTECT EXISTING SYSTEMS & FINISHES WHICH ARE TO REMAIN. ANY DAMAGES TO SUCH SYSTEMS & FINISHES SHALL BE IMMEDIATELY REPAIRED IN A MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE. IF SATISFACTORY REPAIRS CANNOT BE MADE, CONTRACTOR SHALL REPLACE SYSTEMS & FINISHES WITH LIKE NEW QUALITY CONSTRUCTION ACCEPTABLE TO THE OWNER'S REPRESENTATIVE. ALL REPAIRS & REPLACEMENT COSTS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE & PROPERLY DISPOSE OF ALL CONSTRUCTION & DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (& BUILDING OWNER, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL, USE OF STAIRS & ELEVATORS, REMOVAL OF WINDOWS, LOCATION OF CHUTES & DUMPSTERS, ETC., PRIOR TO REMOVAL OF DEBRIS. CONTRACTOR SHALL CLEAN & REPAIR ANY DAMAGES TO EXISTING SYSTEMS SOILED OR DAMAGED BY DEBRIS REMOVAL PROCESS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH & COMPLY WITH OWNER'S PROCEDURES FOR MAINTAINING A SECURE SITE & BUILDING.
- EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLER SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTORS.
- CONTRACTOR SHALL LAY OUT WORK AS SOON AS POSSIBLE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

USE OF CONSTRUCTION DOCUMENTS

- CONTRACTOR SHALL NOT SCALE DRAWINGS; ONLY WRITTEN DIMENSIONS FOR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
- INFORMATION REGARDING EXISTING SYSTEMS, FINISHES AND CONDITIONS WHICH IS SHOWN ON THESE DRAWINGS IS BASED UPON INFORMATION FURNISHED TO THE ARCHITECT BY THE OWNER AND/OR PERCEIVED CONDITION IN THE FIELD. THE INFORMATION DOES NOT GUARANTEE EXACT CONDITIONS BEFORE WORK IS STARTED. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
- MODIFICATIONS IN DUCTS, PIPING, CONDUIT & WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
- DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED & RETURNED TO THE CONTRACTOR. ELECTRONICS COPIES OF BASE PLANS MAY BE PROCURED FROM THE ARCHITECT.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE: A) TO FINISHED FACE OF PARTITION OR EXTERIOR WALL, B) TO CENTERLINE OF COLUMNS & DOORS, C) TO TOP OF STRUCTURAL FLOOR, D) TO BOTTOM OF FINISHED CEILING.

DEFINITIONS

- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE & FINISH FACES IN THE SAME PLANE; AND/OR TO INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
- "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.
- "MAXIMUM" or "MAX." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
- "MINIMUM" or "MIN." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- "±1/2" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

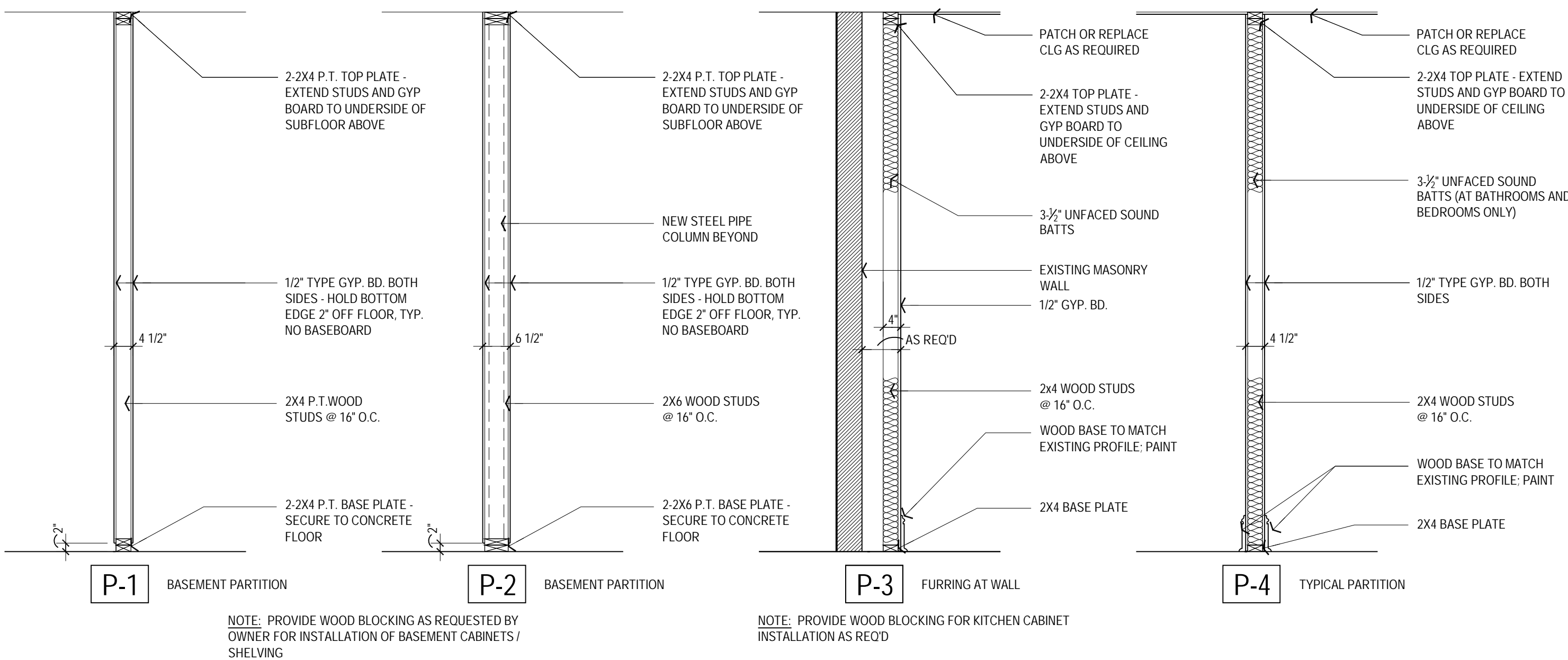
MATERIALS

- ALL DISSIMILAR METAL MATERIALS SHALL BE ISOLATED WITH A NON-METALLIC SEPARATOR.
- ALL CONCEALED WOOD BLOCKING SHALL BE FIRE-RETARDANT-TREATED UNLESS OTHERWISE NOTED.
- ALL MATERIALS USED IN AIR DISTRIBUTION/RETURN, PLENUMS SHALL HAVE A FLAME-SPREAD RATING OF 25 OR LESS & SHALL BE APPROVED BY BUILDING CODE AUTHORITIES.
- ALL MATERIALS USED IN FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
- ALL STEEL PRODUCTS USED IN THE EXTERIOR WALLS SHALL BE STAINLESS OR GALVANIZED. ALL EXTERIOR STEEL SHALL BE GALVANIZED UNLESS NOTED OR SPECIFIED OTHERWISE.
- ALL SHEET METAL FLASHING SHALL ALLOW FOR THERMAL MOVEMENT OF THE MATERIAL WITHOUT DEFLECTION & OILCANNING.

PARTITION TYPES

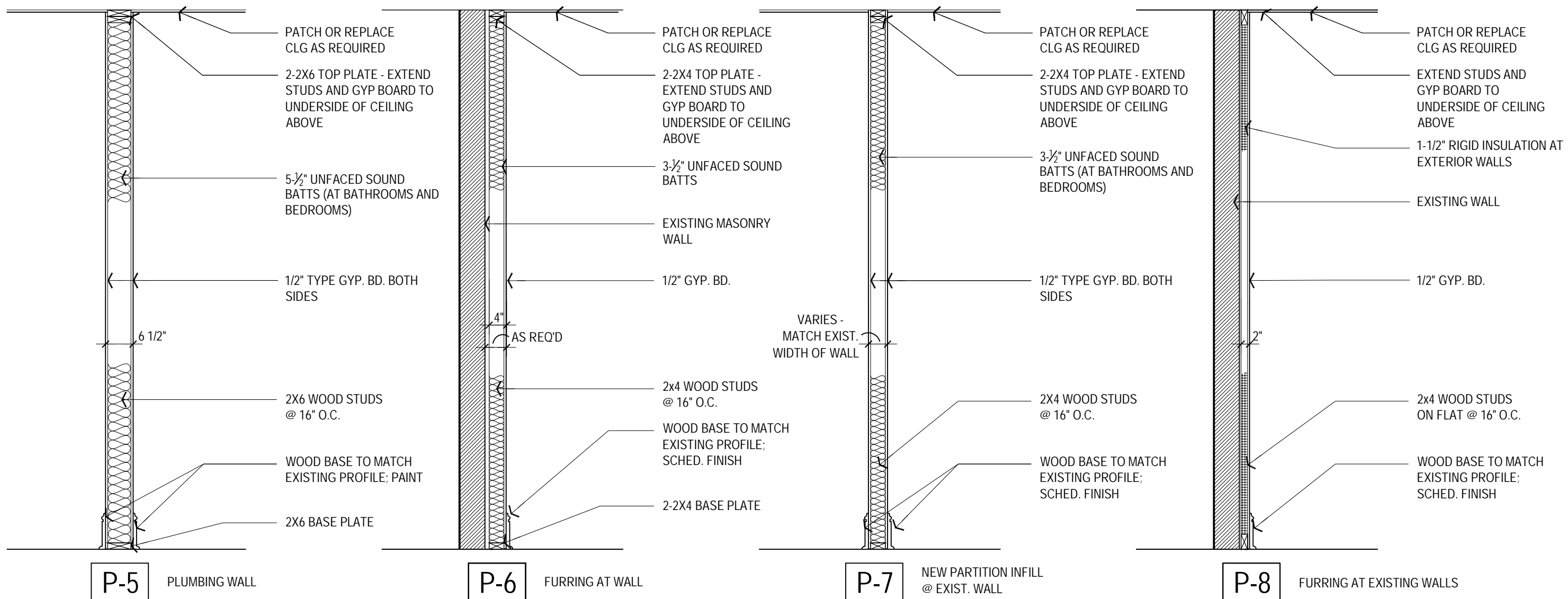
PARTITION TYPES - GENERAL NOTES

- ALL DIMENSIONS ARE TAKEN FROM FINISH FACE OF NEW PARTITION OR FACE OF EXISTING WALL U.O.N.
- TAG INDICATES RATING (i.e. 1HR OR 2 HR) AND IF SOUND INSULATION IS PRESENT - SEE PLAN FOR WALLS THAT RECEIVE THIS TREATMENT.
- FRAMING
 - ALL BEARING PARTITIONS SHALL BE CONSTRUCTED PER STRUCTURAL DRAWINGS AND SPECIFICATIONS.
 - ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION TO L/360 OF THE SPAN WITH UNIFORM 5 PSF HORIZONTAL LOADING
 - PROVIDE DOUBLE FRAMING AT JAMBS OF FRAMES AND CASED OPENINGS.
 - ISOLATE NON-BEARING FRAMING FROM STRUCTURAL ELEMENTS TO PREVENT TRANSFER OF LOADS TO PARTITION FRAMING.
 - CONTROL JOINTS SHALL BE INSTALLED AT MAXIMUM 30'-0" O.C. AT MAJOR INTERRUPTIONS SUCH AS DOORS, WINDOWS & EQUIPMENT. SEE ELEVATIONS FOR ADDITIONAL LOCATIONS. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
 - SCREW ATTACH STUDS TO RUNNER TRACKS AT BOTH SIDES.
 - PROVIDE FIRE RETARDANT BLOCKING FOR ALL WALL MOUNTED ARCHITECTURAL WOODWORK, FINISH CARPENTRY, TOILET PARTITIONS & ACCESSORIES, RAILINGS, HARDWARE, AND SIMILAR MOUNTED ITEMS.
 - FRAMING SHALL COORDINATE WITH REQUIRED MECHANICAL, ELECTRICAL, & OTHER WORK.
- GYPSUM BOARD
 - GWB - 5/8" GYPSUM WALL BOARD, TYP.
 - GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 840.
 - RECESSED ITEMS SHALL BE INSTALLED FLUSH WITH PARTITIONS UNLESS OTHERWISE NOTED. PARTITION DEPTH SHALL BE ADJUSTED TO ACCOMMODATE DEPTH OF RECESSED ITEM OR AS DIRECTED BY THE ARCHITECT.
 - GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.
 - CORNERS AND EXPOSED EDGES OF GYPSUM BOARD SHALL BE FINISHED WITH TAPED-IN METAL TRIM ACCESSORIES, EXPOSED TRIM SHALL BE USED ONLY WHEN APPROVED BY THE ARCHITECT.
 - PROVIDE WATER RESISTANT (USG AQUATOUGH WATER RESISTANT OR EQUAL) DRYWALL AT ALL WET WALLS (PLUMBING FIXTURES).
 - PROVIDE GLASS-MAT, WATER RESISTANT BACKING BOARD AT ALL TILE LOCATIONS.



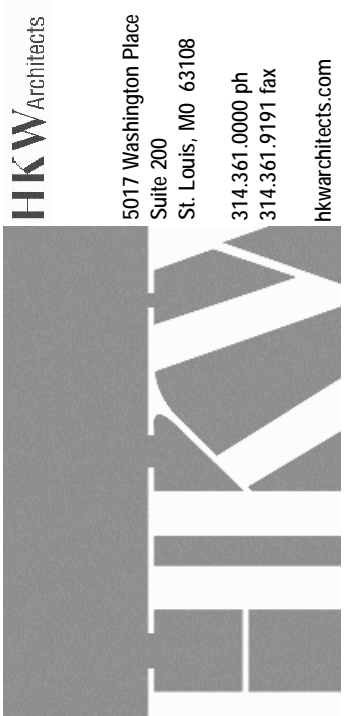
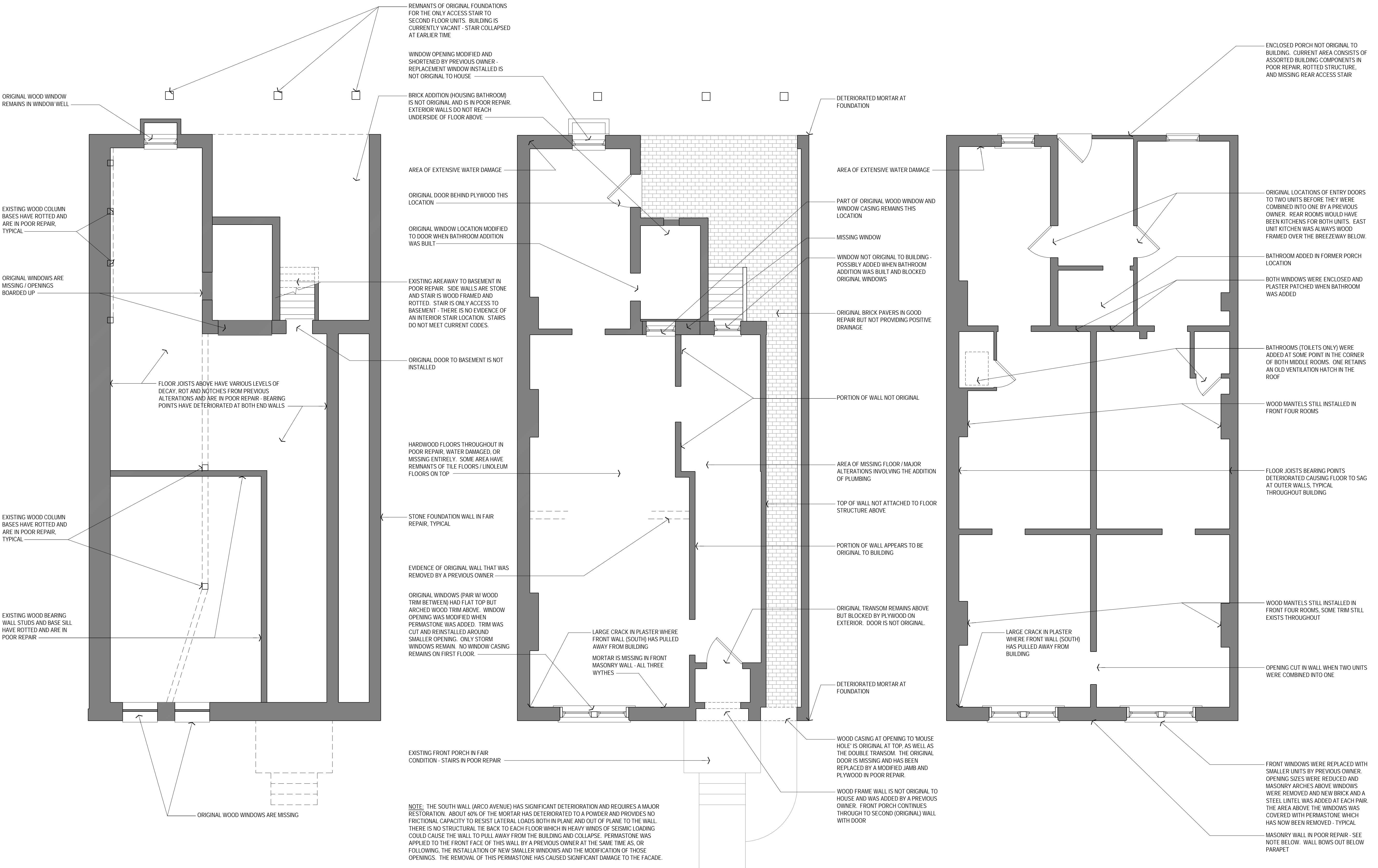
Partition Types

SCALE: 1/2 = 1'-0"



Partition Types

SCALE: 1/2 = 1'-0"

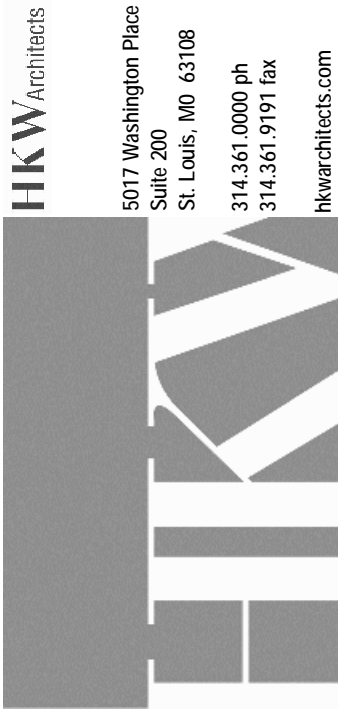


NO.	DATE	REVISIONS

Grove House
Residential Renovation
4211 Arco Avenue
St. Louis, MO 63110

A1.0
Existing Conditions - Floor Plans
28 December 2010

km
09.021.00

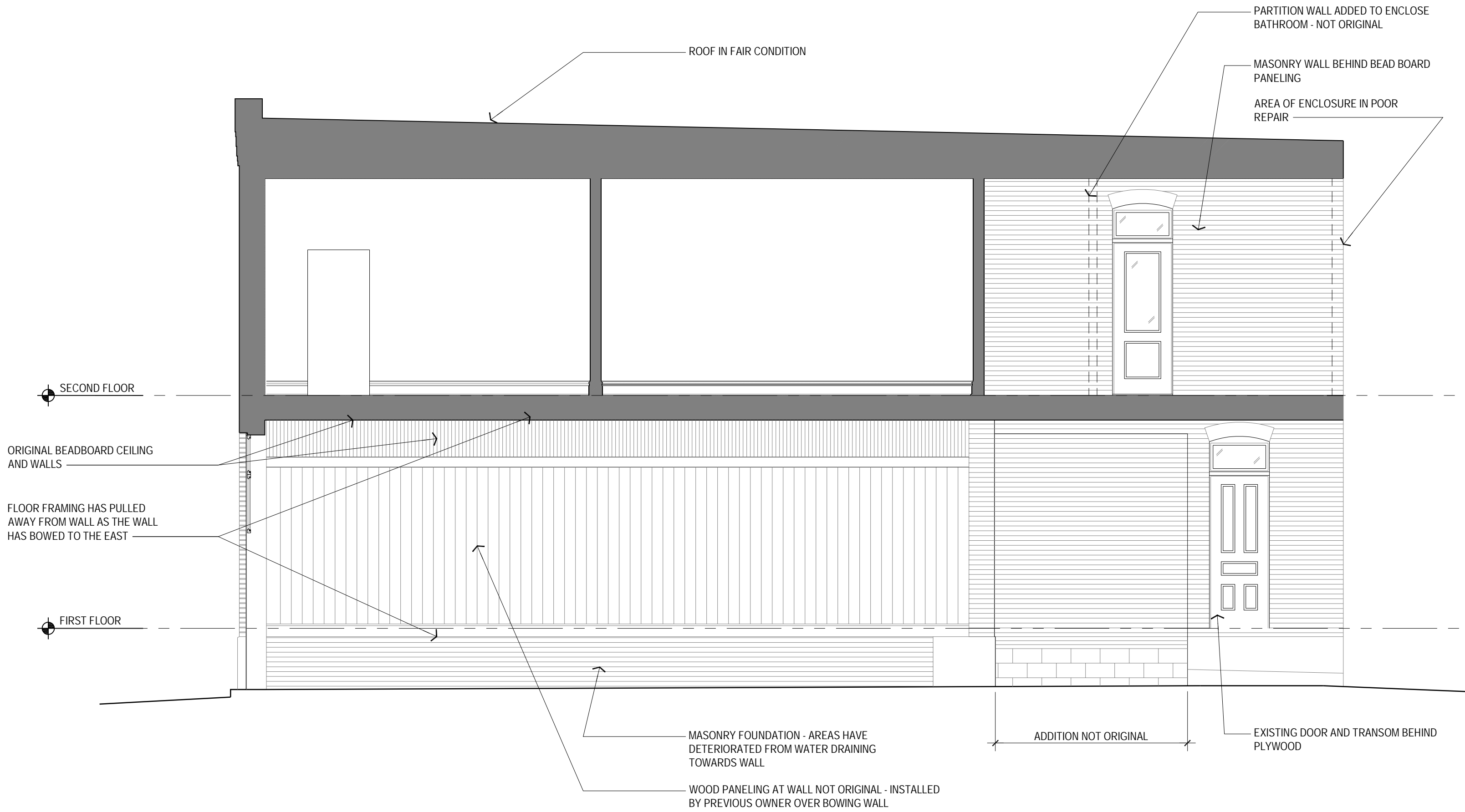


NO.	DATE	REVISIONS

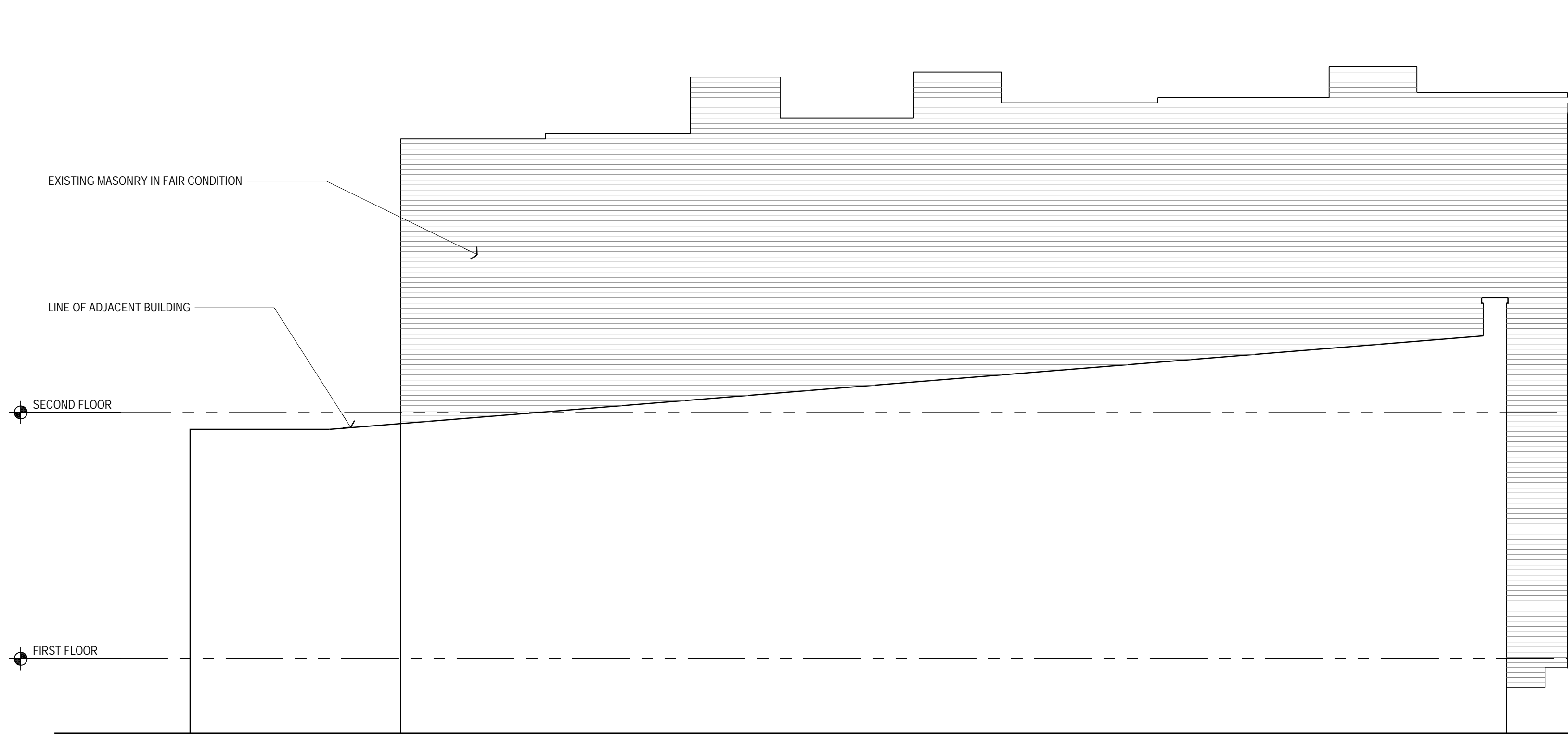


NOTE: THE SOUTH WALL (ARCO AVENUE) HAS SIGNIFICANT DETERIORATION AND REQUIRES A MAJOR RESTORATION. ABOUT 60% OF THE MORTAR HAS DETERIORATED TO A POWDER AND PROVIDES NO FRICTIONAL CAPACITY TO RESIST LATERAL LOADS BOTH IN PLANE AND OUT OF PLANE TO THE WALL. THERE IS NO STRUCTURAL TIE BACK TO EACH FLOOR WHICH IN HEAVY WINDS OF SEISMIC LOADING COULD CAUSE THE WALL TO PULL AWAY FROM THE BUILDING AND COLLAPSE. PERMASTONE WAS APPLIED TO THE FRONT FACE OF THIS WALL BY A PREVIOUS OWNER AT THE SAME TIME AS, OR FOLLOWING, THE INSTALLATION OF NEW SMALLER WINDOWS AND THE MODIFICATION OF THOSE OPENINGS. THE REMOVAL OF THIS PERMASTONE HAS CAUSED SIGNIFICANT DAMAGE TO THE FACADE.

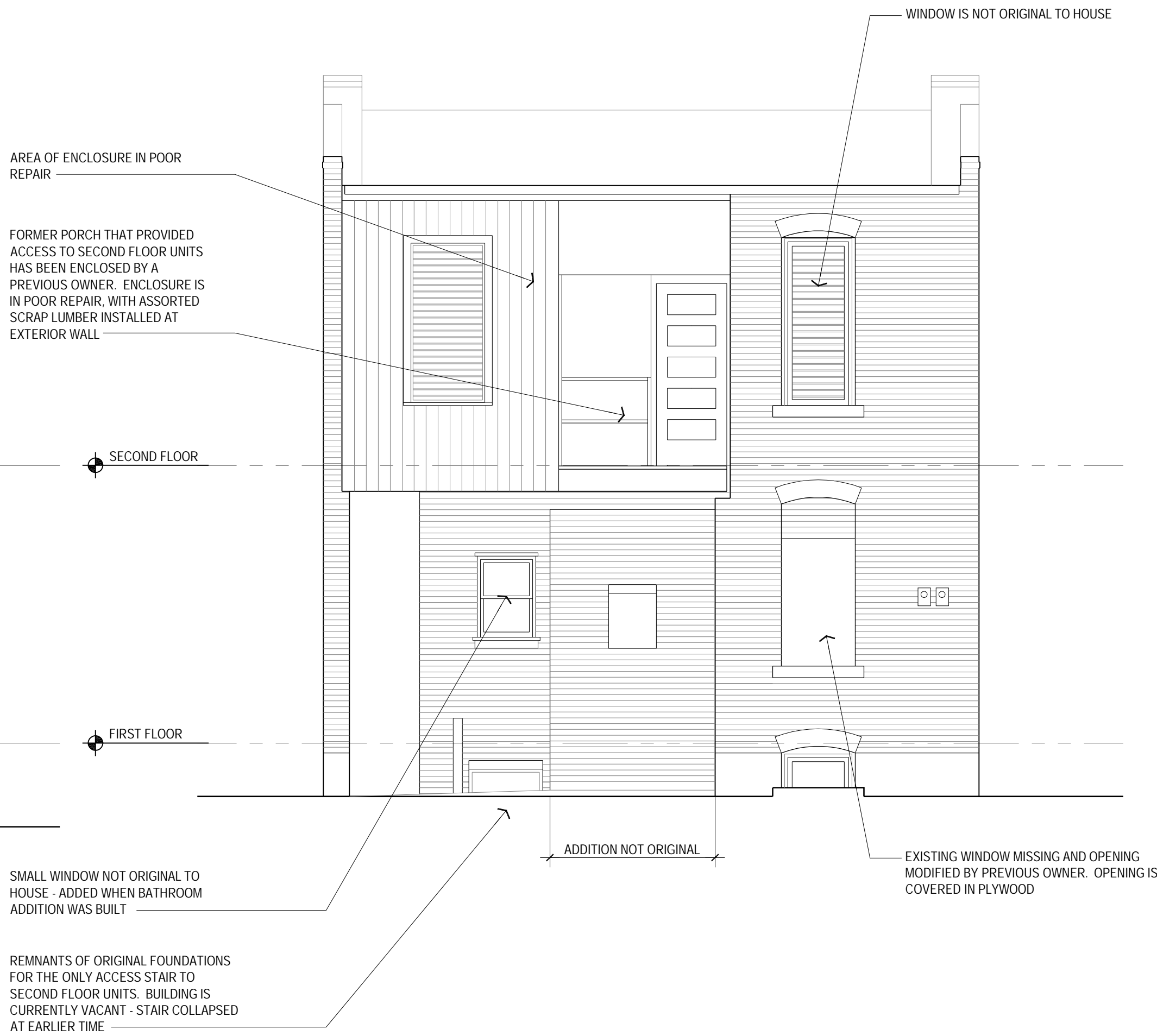
5 South Elevation
SCALE: 1/4" = 1'-0"
Existing Conditions



7 East Elevation/ Section
SCALE: 1/4" = 1'-0"
Existing Conditions



13 West Elevation
SCALE: 1/4" = 1'-0"
Existing Conditions



16 North Elevation
SCALE: 1/4" = 1'-0"
Existing Conditions

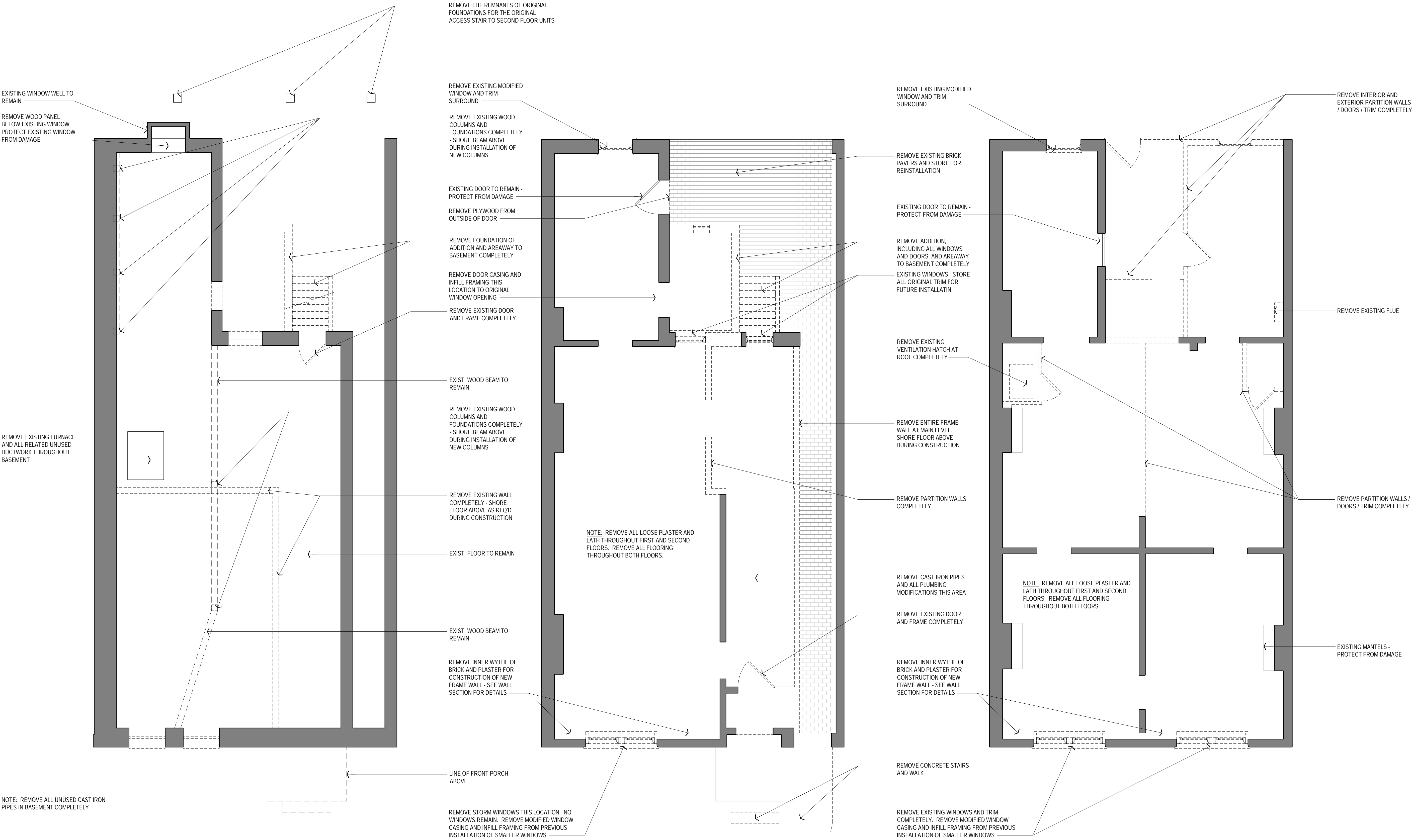
Grove House
Residential Renovation
4211 Arco Avenue
St. Louis, MO 63110

A1.1
Existing Conditions - Elevations
28 December 2010

kcm

09.021.00

NO.	DATE	REVISIONS



13 Basement Demolition Plan
SCALE: 1/4" = 1'-0"

14 First Floor Demolition Plan
SCALE: 1/4" = 1'-0"

15 Second Floor Demolition Plan
SCALE: 1/4" = 1'-0"

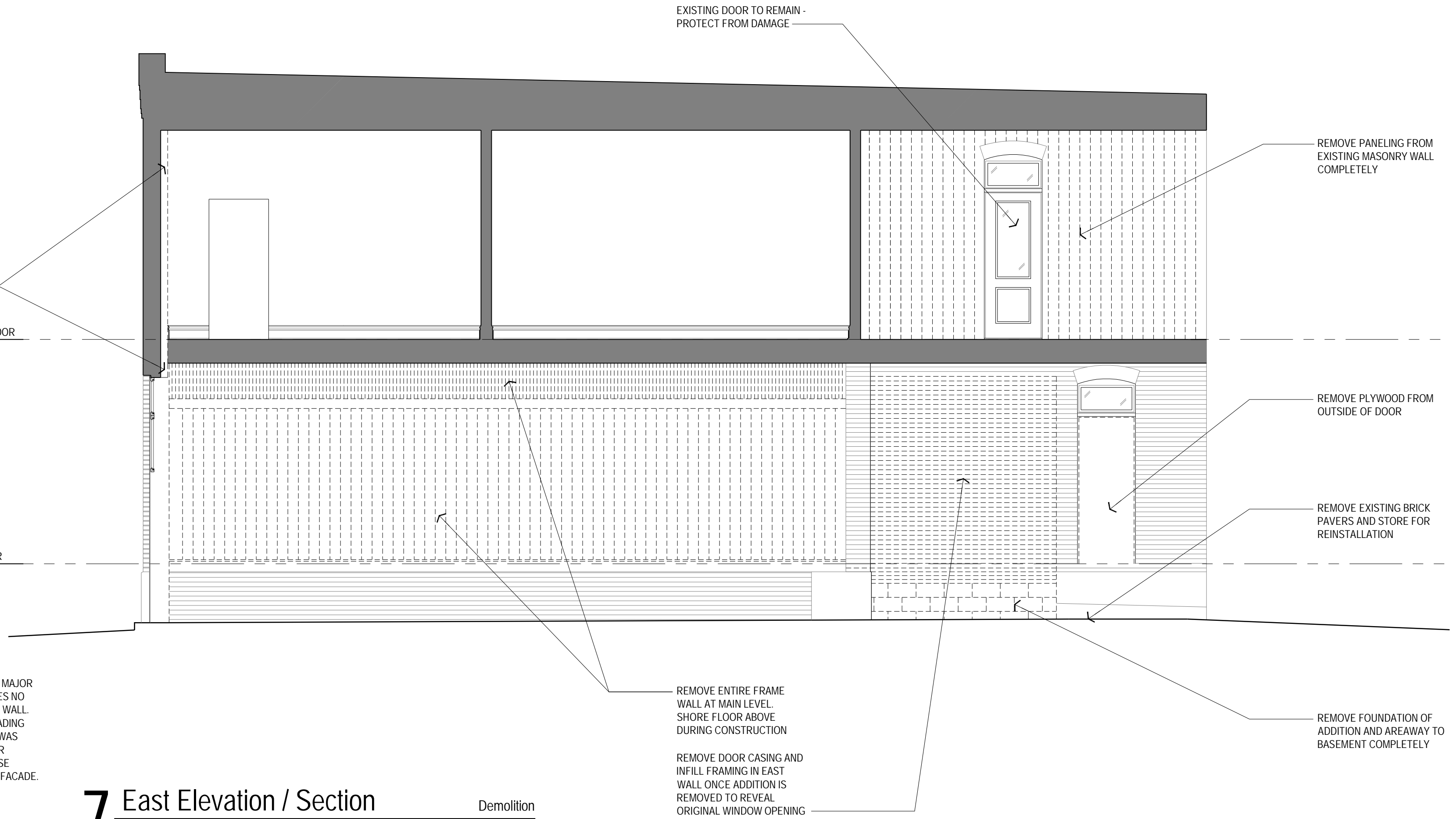


5 South Elevation

SCALE: 1/4" = 1'-0"

Demolition

NOTE: THE SOUTH WALL (ARCO AVENUE) HAS SIGNIFICANT DETERIORATION AND REQUIRES A MAJOR RESTORATION. ABOUT 60% OF THE MORTAR HAS DETERIORATED TO A POWDER AND PROVIDES NO FRICTIONAL CAPACITY TO RESIST LATERAL LOADS BOTH IN PLANE AND OUT OF PLANE TO THE WALL. THERE IS NO STRUCTURAL TIE BACK TO EACH FLOOR WHICH IN HEAVY WINDS OF SEISMIC LOADING COULD CAUSE THE WALL TO PULL AWAY FROM THE BUILDING AND COLLAPSE. PERMASTONE WAS APPLIED TO THE FRONT FACE OF THIS WALL BY A PREVIOUS OWNER AT THE SAME TIME AS, OR FOLLOWING, THE INSTALLATION OF NEW SMALLER WINDOWS AND THE MODIFICATION OF THOSE OPENINGS. THE REMOVAL OF THIS PERMASTONE HAS CAUSED SIGNIFICANT DAMAGE TO THE FACADE.



7 East Elevation / Section

SCALE: 1/4" = 1'-0"

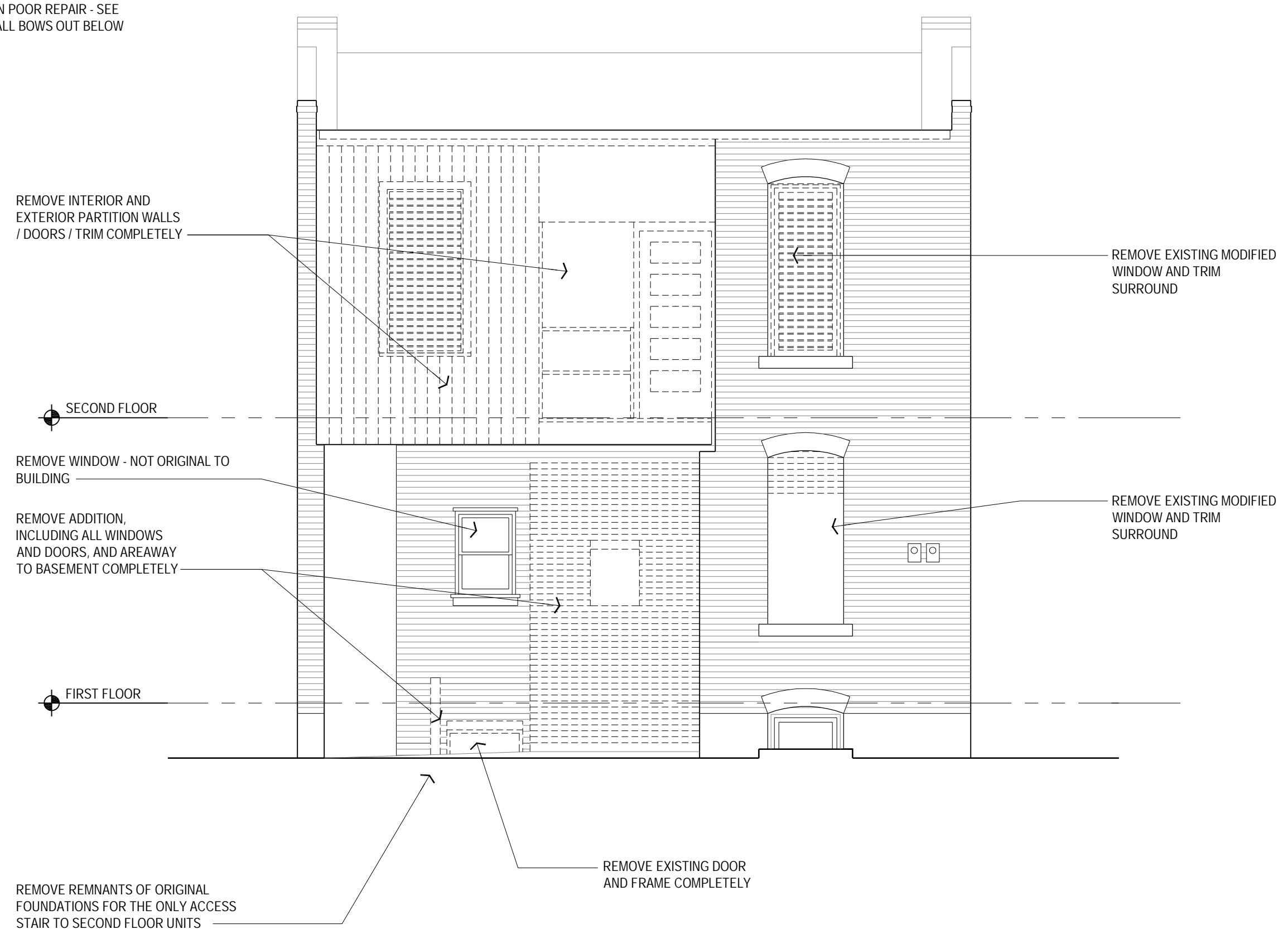
Demolition



13 West Elevation

SCALE: 1/4" = 1'-0"

Demolition

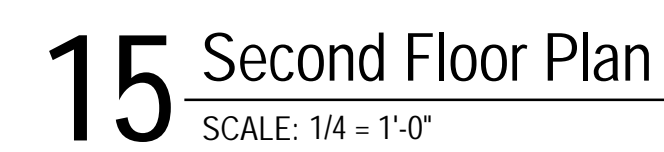
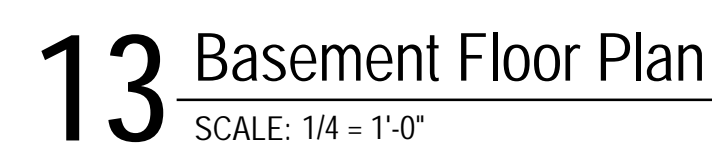


15 North Elevation

SCALE: 1/4" = 1'-0"

Demolition

NO.	DATE	REVISIONS

[illegible]

GILOVE HOUSE
Residential Renovation
4211 Arco Avenue
St. Louis, MO 63110

09:02:00

A3.0

Floor Plans

28 December 2010

28 December 2010

4475 Chouteau Avenue

Site Address: 4475 Chouteau Ave.

Request: Community Support for the project

Company Name: Above All Development, LLC

Contact Person(s): Bryan Aston

Mailing Address: 10411 Clayton Road, Suite 308, St. Louis, MO 63131

Company Owners / Principals: Bryan Aston, Stan McCurdy, Jeff McCurdy and Tom Behle

Project Information

History of site

Owner, Taylor Papin, LLC, an affiliate of Above All Development, bought the property in May 2012 as part of a larger tract which now includes the Home2 Suites and Aventura at Forest Park apartments.

Proposed Project

To develop the property into a three-story, 7-unit apartment building with a 500 sf non-residential space on ground floor. Apartments will be market rate. Property is .135 acres. The building will have a brick and Nichiha façade.

Parking

The development will have 6 open air parking spaces and 4 garage spaces.

Current Zoning Boulevard Type 1 (B1)

Project Costs:

Acquisition:	\$ 50,000
Pre-development Soft Cost:	\$ 300,000
Construction Cost:	\$ 1,000,000
Total:	\$ 1,350,000

4475 Chouteau Avenue

Project Timeline:

Site Control:	Owned by Developer
Construction Start:	March 2019
Construction Complete:	March 2020
Occupancy:	March 2020

Relevant Experience

Developed Home2 Suites, Aventura at Forest Park and the town homes at Chouteau and Tower Grove. The developer has built thousands of units throughout St. Louis County and the United States.

Will the project seek financial incentives from the City of St. Louis? No incentives will be sought for this project.

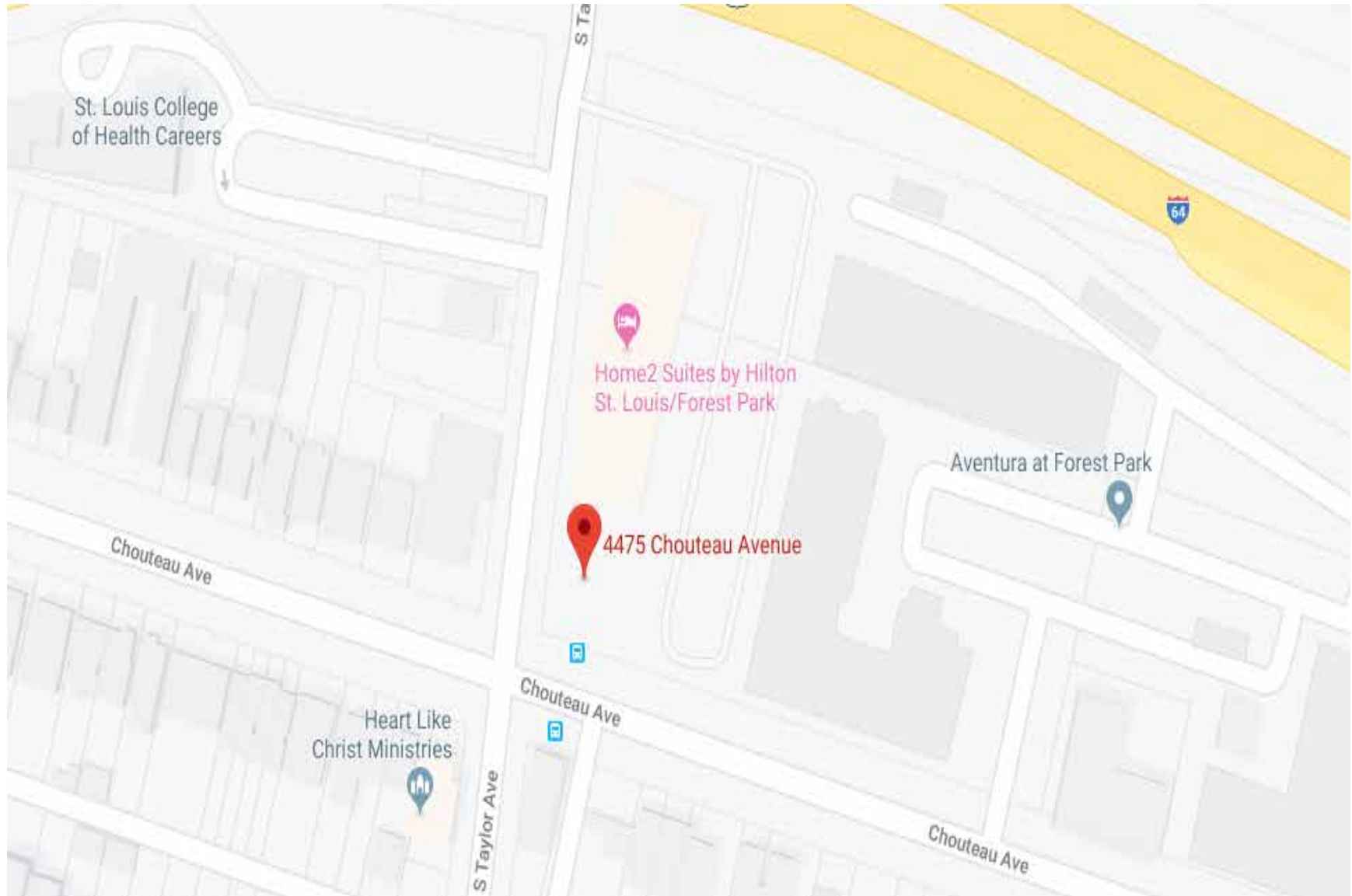
Park Central Recommendation

Park Central Development recommends support of this project and support of the demolition of the current buildings with the following conditions:

1. The developer coordinates its exterior security cameras and placement of them with the NSI, and partner with the FPSE Camera Network to provide access when crimes occur.
2. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

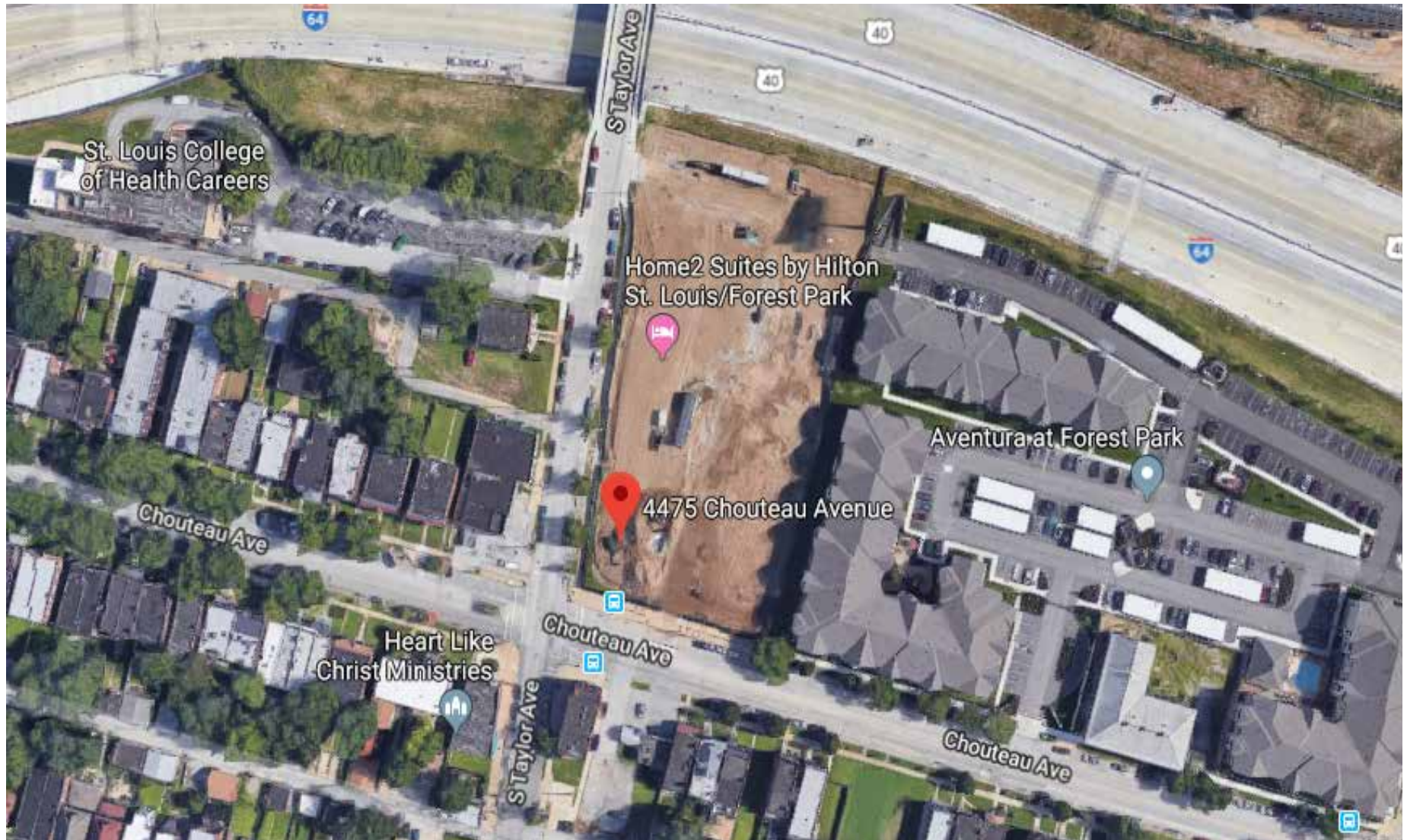
4475 Chouteau Avenue

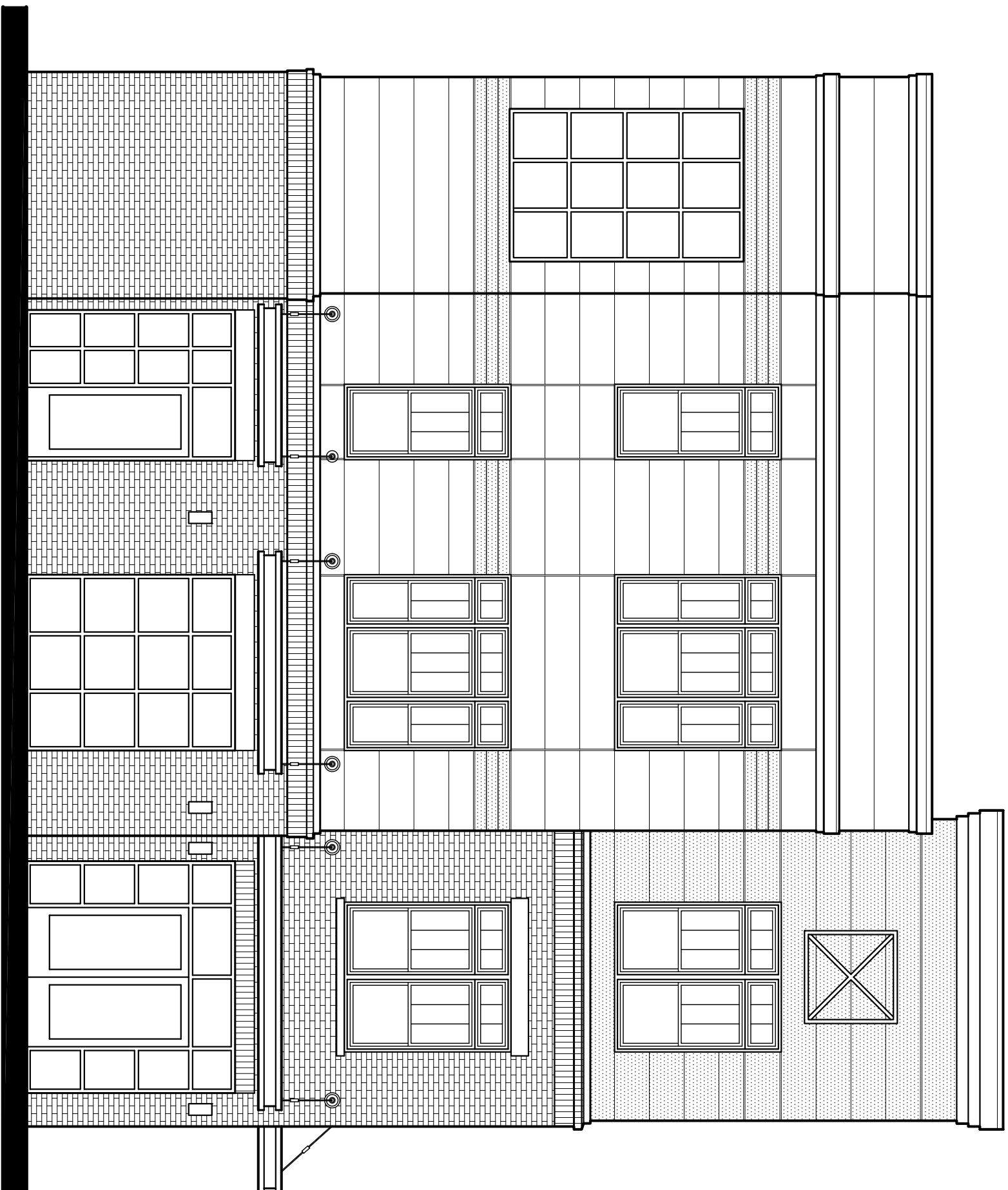
Site Map



4475 Chouteau Avenue

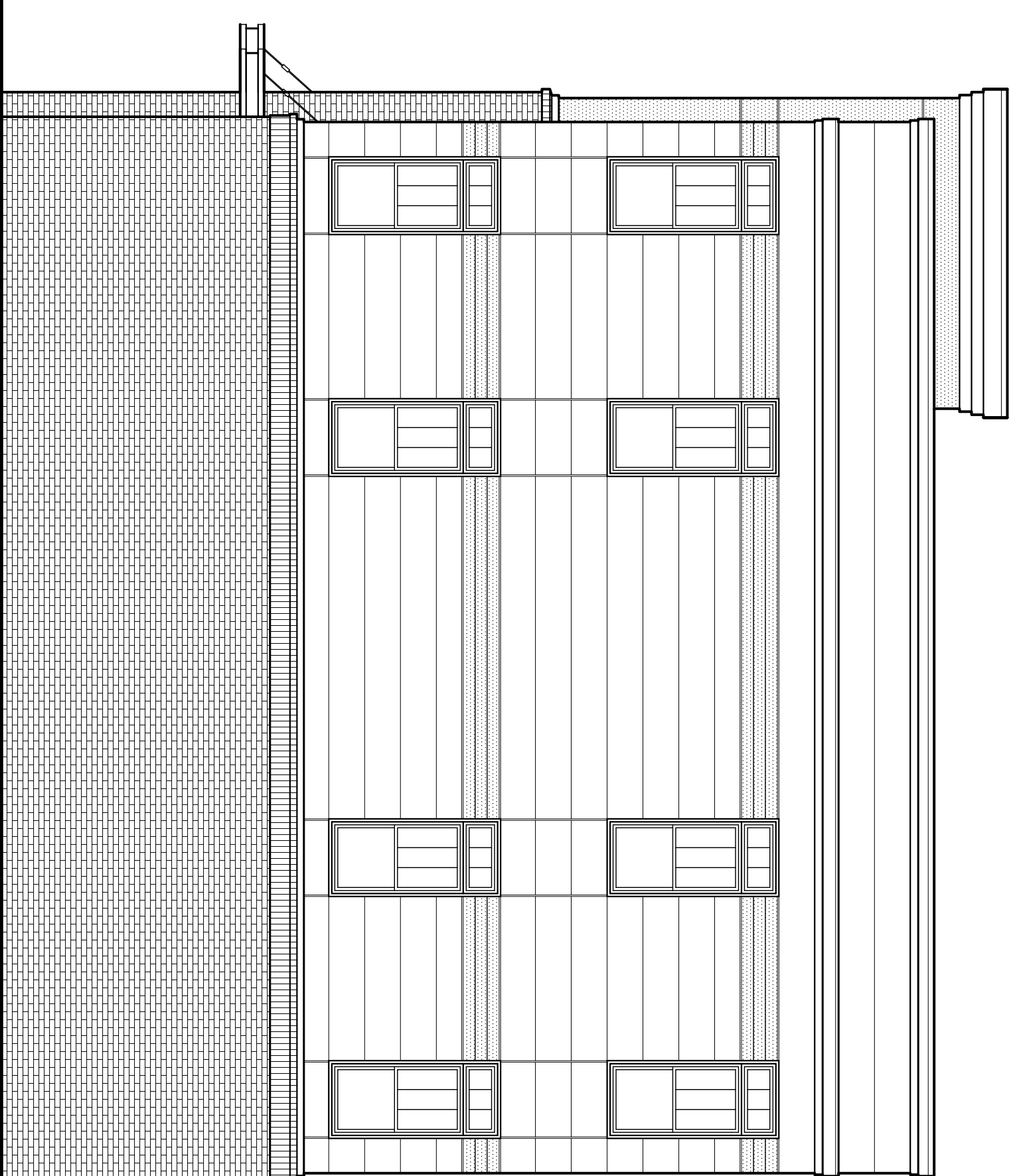
4475 Chouteau Front Aerial View





TAYLOR AVE ELEVATION

SCALE 3/16"=1'-0"

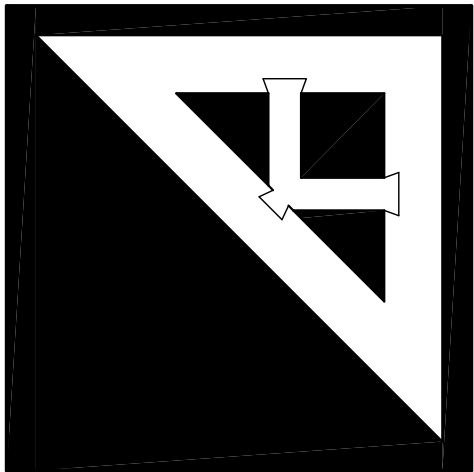


EAST ELEVATION

SCALE 3/16"=1'-0"

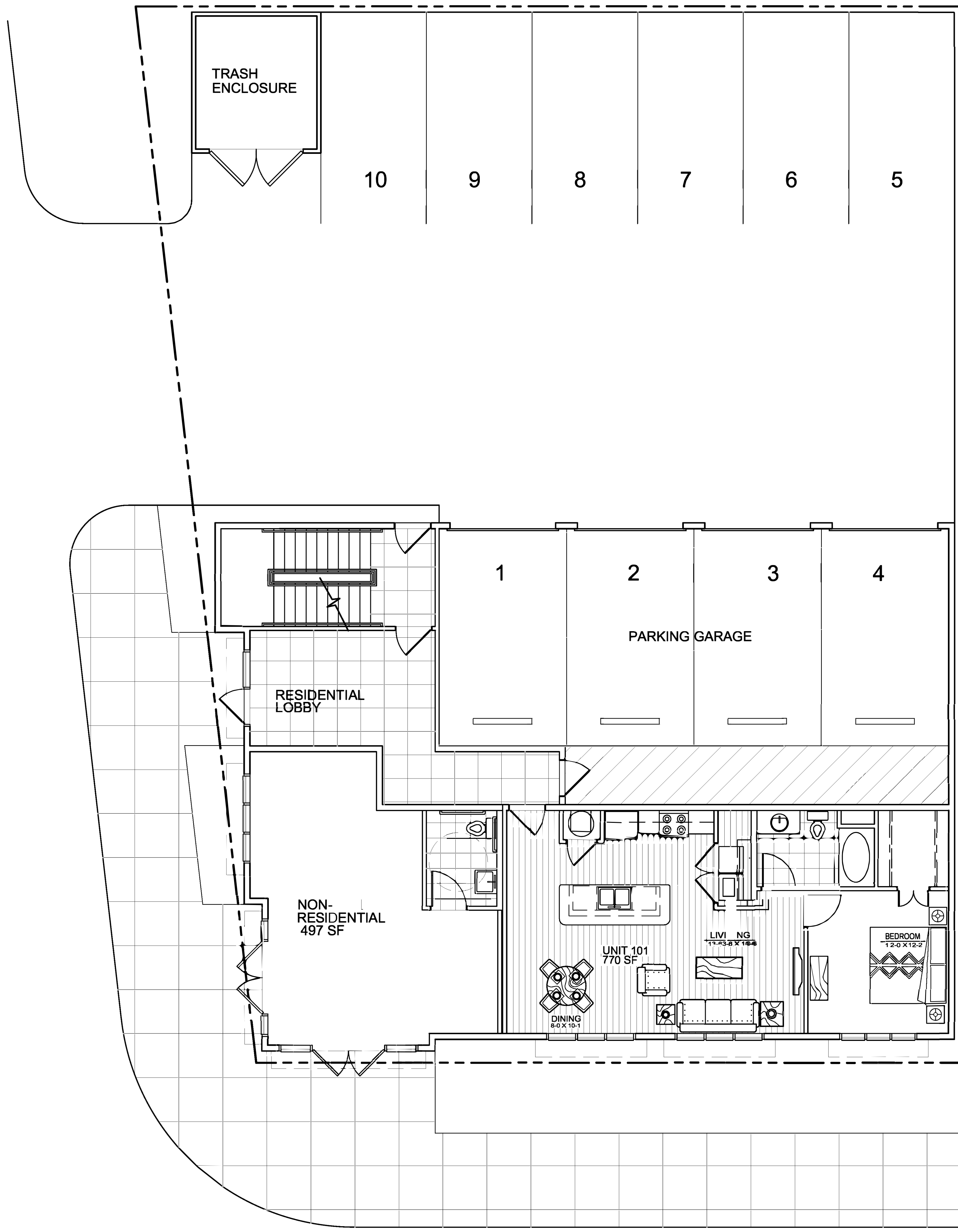
NORTH ELEVATION

SCALE 3/16"=1'-0"

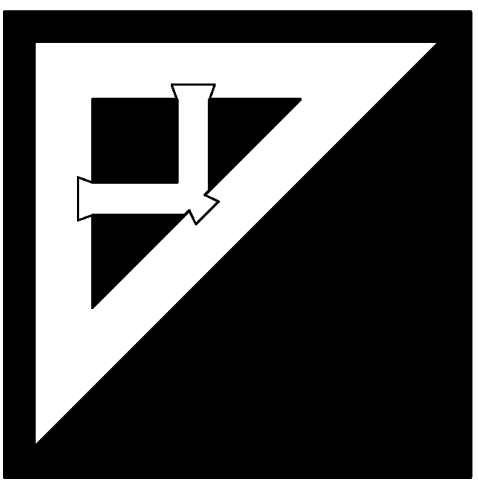


Parker Associates Tulsa, LLC
2202 E. 49th Street South
Suite 200
Tulsa, OK 74105
(918)-742-2485

TAYLOR AVENUE



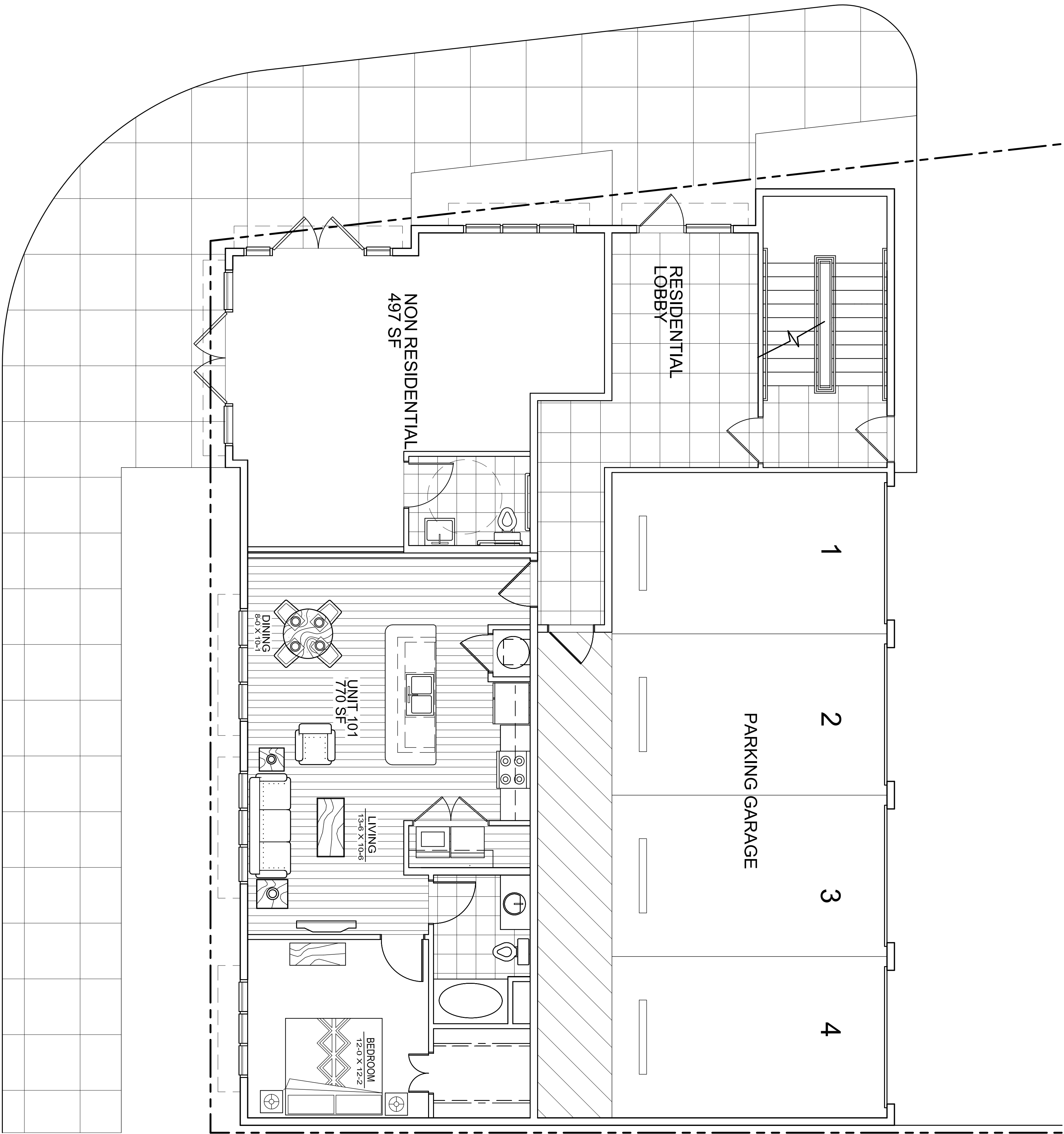
CHOUTEAU AVENUE



SITE PLAN
SCALE 3/16"=1'-0"

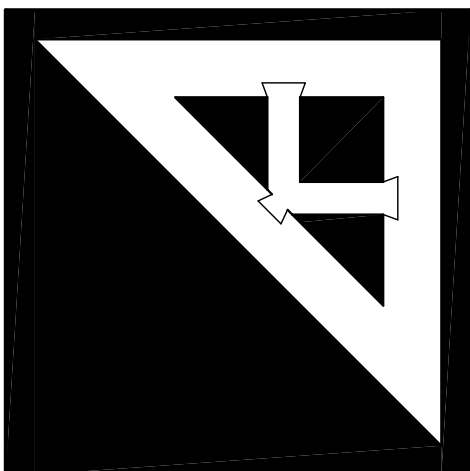
Parker Associates Tulsa, LLC
2202 E. 49th Street South
Suite 200
Tulsa, OK 74105
(918)-742-2485

TAYLOR AVENUE



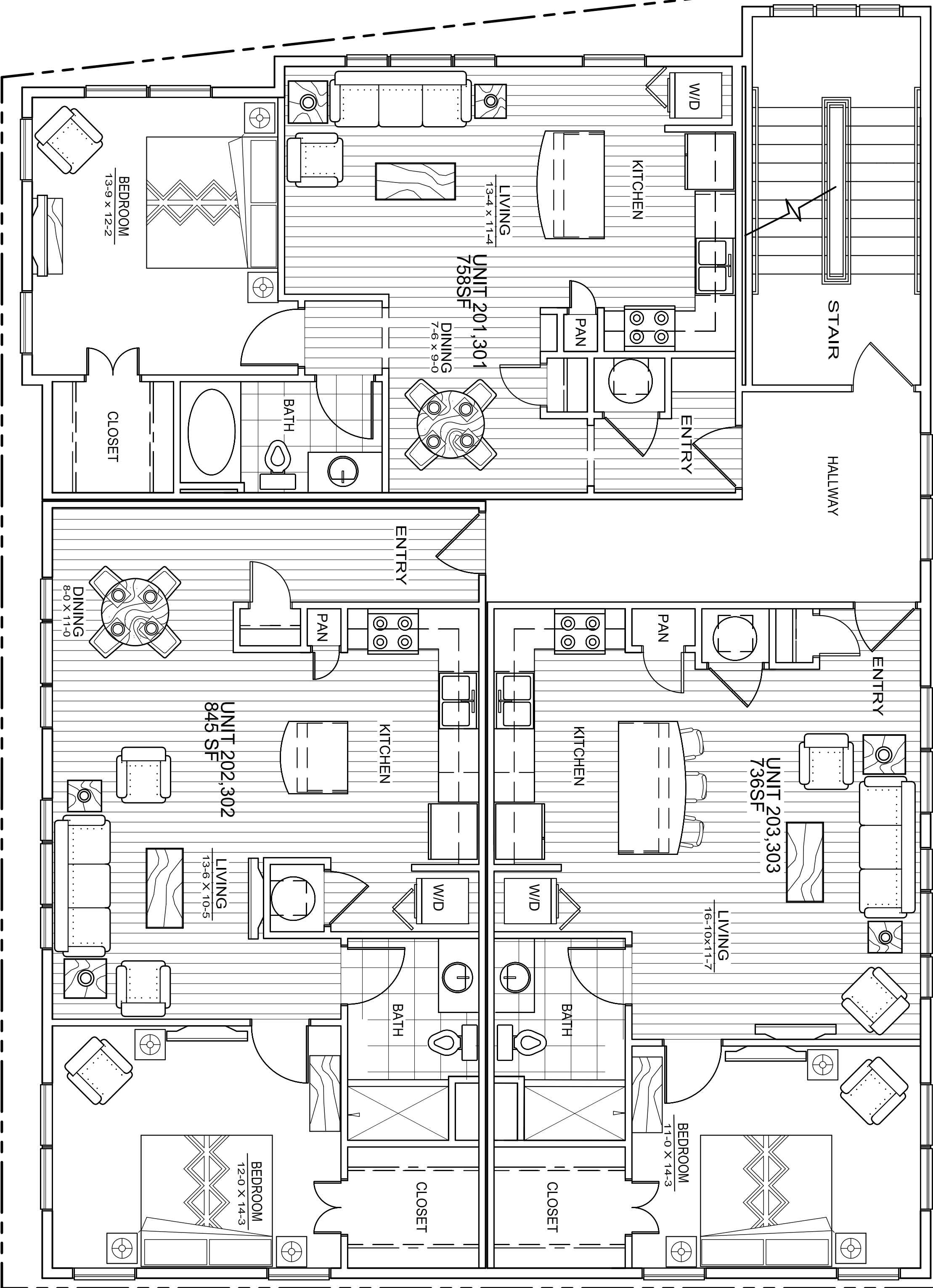
FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



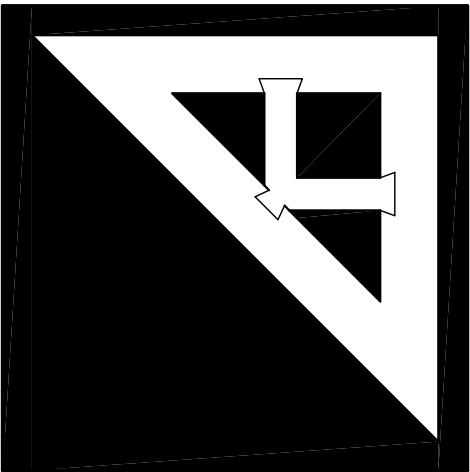
F&K Associates Tulsa, LLC
202 E. 49th Street South
Suite 200
Tulsa, Oklahoma 74103

CUMMINS AVENUE



SECOND/THIRD FLOOR PLAN

SCALE 1/4"=1'-0"



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