



**FOREST PARK SOUTHEAST
DEVELOPMENT COMMITTEE**

November 13, 2018

5:30 P.M.

MEETING AGENDA

- 1. **Introductions**5 Minutes
- 2. **Minutes from September 25, 2018**2 Minutes
- 3. **4211 Arco:** Request for Community support for a Rehab & Historic Tax Credit Project
 - Park Central Presentation.....5 Minutes
 - Business Presentation5 Minutes
 - Public Comments.....5 Minutes
 - Committee Comments.....5 Minutes
- 3. **4475 Chouteau:** Request for Community support for the project
 - Park Central Presentation.....5 Minutes
 - Business Presentation5 Minutes
 - Public Comments.....5 Minutes
 - Committee Comments.....5 Minutes
- 4. **Missouri Foundation For Health Columbia Iron Works Site Update**.....10 Minutes
- 5. **Discussion: Approval of Special Events in FPSE**.....10 Minutes
- 6. **Closed Session**10 Minutes
- 7. **December Meeting Date**.....2 Minutes



FPSE Development Committee Meeting Minutes
September 25, 2018 at 5:30 pm
at 4512 Manchester, St. Louis, MO 63110

Committee members in attendance: John Boldt, Guy Slay, Brian Phillips, Tom Ernst, Sharon Blaine, Patrick Brown (via phone), Patrice Willis, Mark Mangapora, Meredith Jones

Committee members not present: David Wolfe, Kasan Moore

Staff in attendance: Abdul Abdullah and Annette Pendilton

Others in attendance: Luke Henson (Washington University), Joe Brinkmana (Trivers), Dan Harbaugh (Ronald McDonald House)

1. Call to Order:

J. Boldt called the meeting to order at 5:31 pm.

2. Minutes from August 28, 2018

M. Mangapora motioned to approve minutes with corrections for August 28, 2018 meeting minutes. P. Willis seconded. Minutes approved with corrections passes 7-0-2 B. Phillips and M. Jones - Abstained

3. 4321 Chouteau: Request for support for demolition of all structures on all properties and community support for the project..

A. Abdullah read the proposal to the board. Copy of the report can be requested with Park Central Development staff.

Park Central Development recommends support of the project with the following conditions:

1. That a property maintenance plan for the upkeep of the property (grass cutting, weeds, tree trimming, snow removal) be developed for the site until construction begins.
2. Ronald McDonald House integrate its exterior cameras into FPSE camera system during construction and upon completion of the project and coordinate with the NSI to address safety and security concerns around the property, as well as develop a communication strategy with the NSI for any public safety issues concerning children at their property.
3. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

Presentation by Ronald McDonald House. Dan Harbaugh, President of Ronald McDonald House gave an update on the history and where the Ronald McDonald houses are currently located. Joe Brinkmana of Trivers gave a presentation of what the

intentions are for the project. He will present a final product to the board once they have secured donations to fund the project. He is here today to get the FPSE Development Committee support for demolition on all structures on all properties.

4. Public Comments: None

5. Closed Session

A. 4321 Chouteau -

G. Slay motioned to support the demolition of on all structures on all properties with the following conditions:

1. That a property maintenance plan for the upkeep of the property(grass cutting, weeds, tree trimming, snow removal) be developed for the site until construction begins.
2. Ronald McDonald House integrate its exterior cameras into FPSE camera system during construction and upon completion of the project and coordinate with the NSI to address safety and security concerns around the property, as well as develop a communication strategy with the NSI for any public safety issues concerning children at their property.
3. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

S Blaine seconded. The motion passes 9-0-0

- 6. Discussion:** M. Mangapora wants to know who should present projects to the committee on behalf of developers. Example of Everest Café presenting for the developer. It was understood that the Dr. and Connie States' will be the owners of the property. B. Phillips suggested that in the future during the application process, ask to “demonstrate site control”.

- 7.** Meeting adjourned at 6:25 pm.

4211 Arco Ave.

Site Address: 4211 Arco Ave.

Request: Community Support for the project

Contact Person(s): Jay De Long

Mailing Address: 3851 Utah Place, 63116

Owners / Principals: James De Long & Megan Power

Project Information

History of site

The building was constructed in 1893. The building possesses some unique architectural elements - more typical of Soulard neighborhood. The adjacent building was condemned and demolished Sept 2018.

Proposed Project

The proposed project will restore a historic brick (3) three level shotgun family home that was built with a detached garage. The garage will also be restored and contain one parking spot. The project is a historic tax Credit project. The project is adjacent to the proposed Arbo on Arco project. The project will remove a derelict building and eye sore from the neighborhood.

Parking

There will be two (2) Park Spaces in rear parking

Current Zoning: NC1 (Neighborhood Center Type 1)

Project Costs:

Acquisition:	\$ 69,001
Pre-development Soft Cost:	\$ 21,000
Construction Cost:	\$ 190,000
Total:	\$ 270,000

4211 Arco Ave.

Project Timeline:

Site Control:	Currently Owned
Construction Start:	December 2018
Construction Complete:	September 2019
Occupancy:	March 2020

Relevant Experience

The owner has previously restored property per Department of Interior’s Standards of Historic Rehabilitation standards.

Will the project seek financial incentives from the City of St. Louis? Yes incentives/tax abatement will be sought for this project through SLDC.

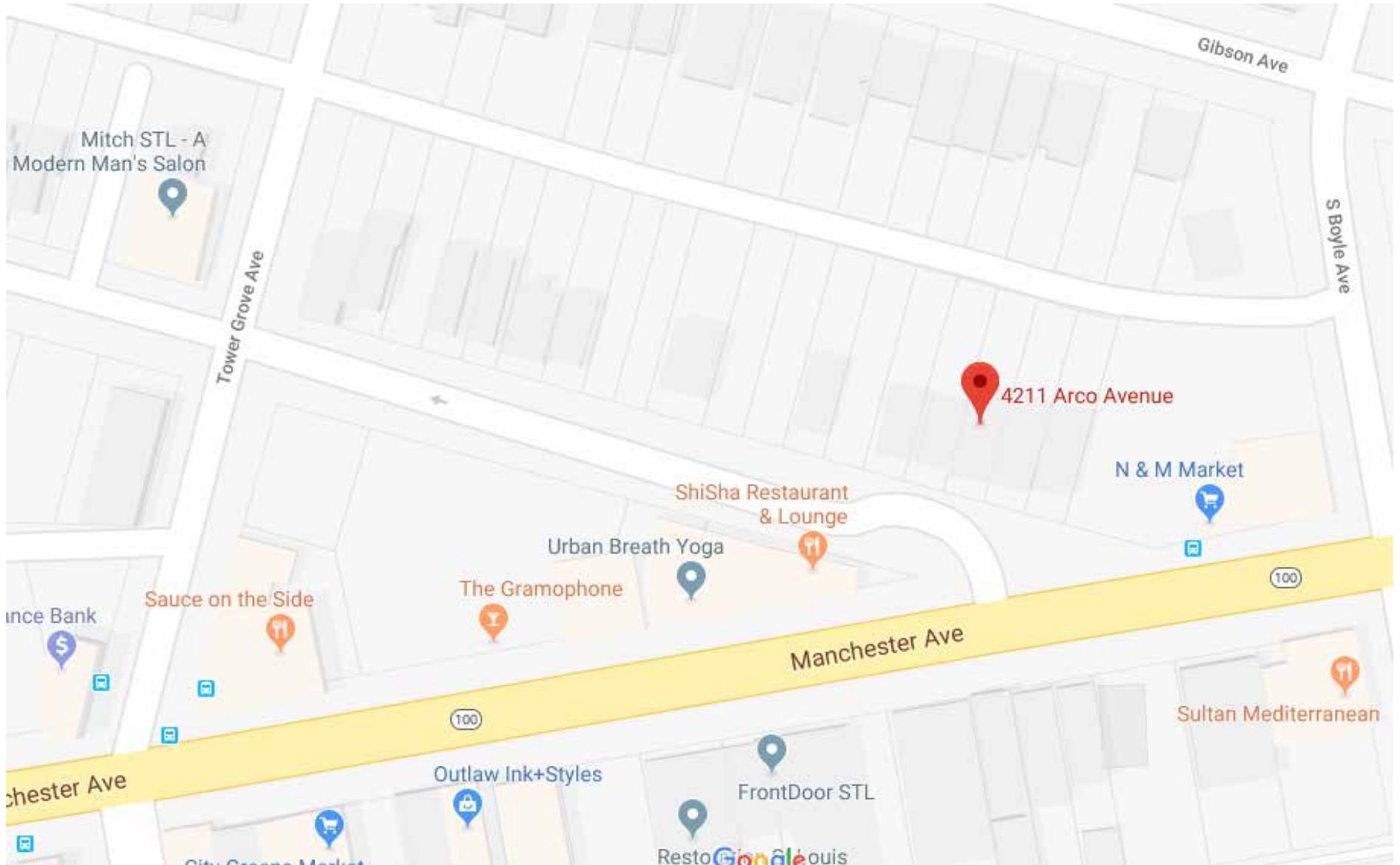
Park Central Recommendation

Park Central Development recommends support of this project and support of the demolition of the current buildings with the following conditions:

1. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

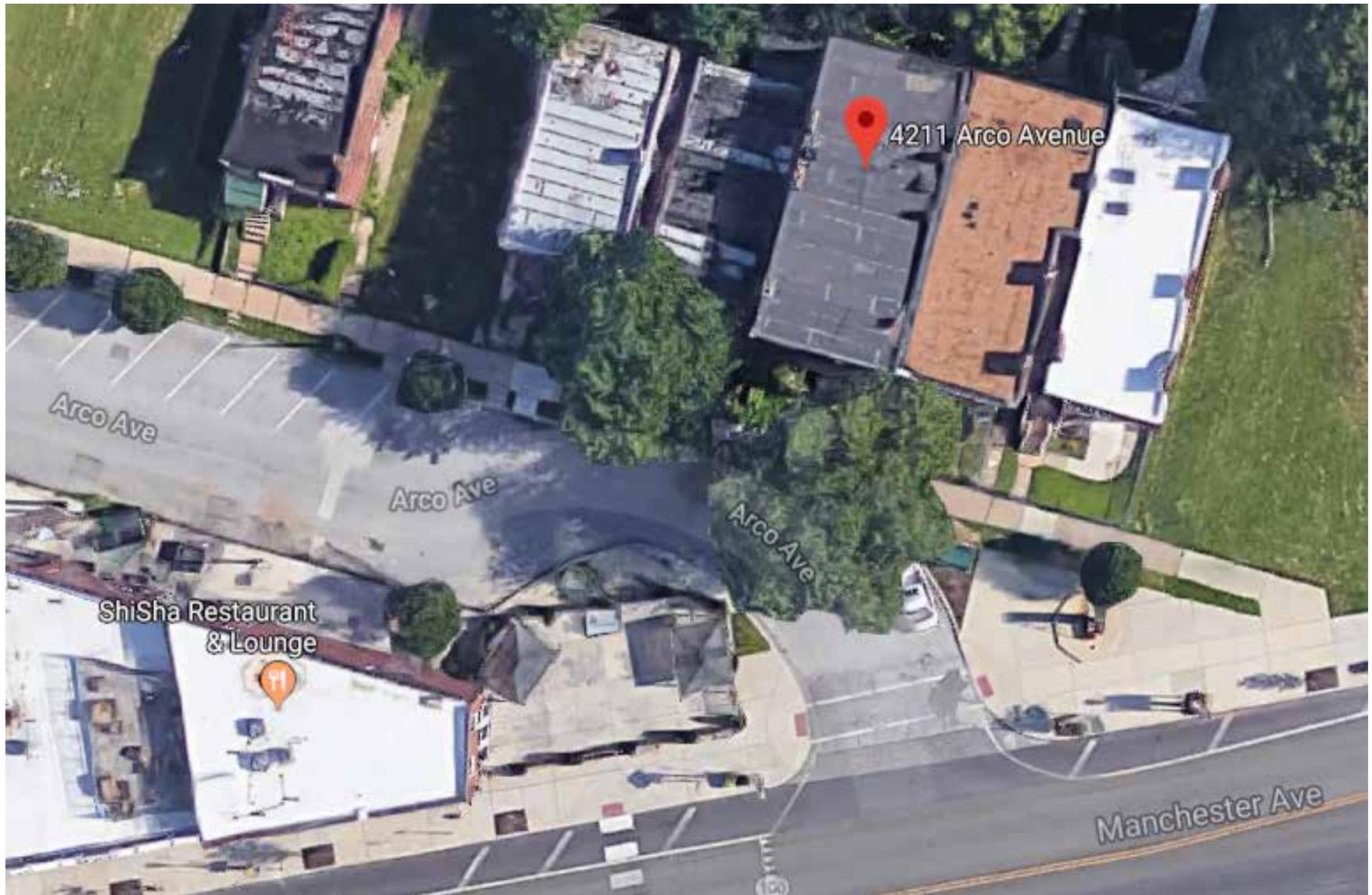
4211 Arco Ave.

Site Map



4211 Arco Ave.

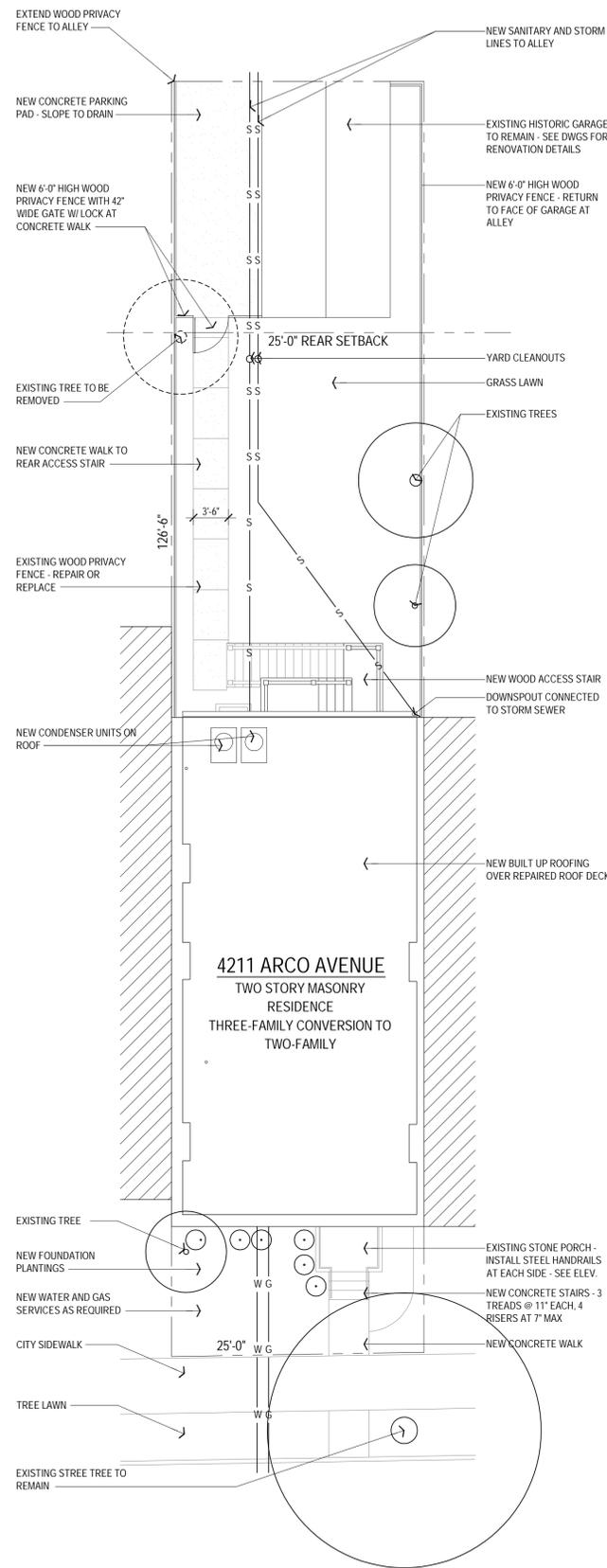
4211 Arco Aerial View



4211 Arco Ave.

(View of Site)





Site Plan

4211 Arco Avenue, 63110

SCALE: 1/8" = 1'-0"

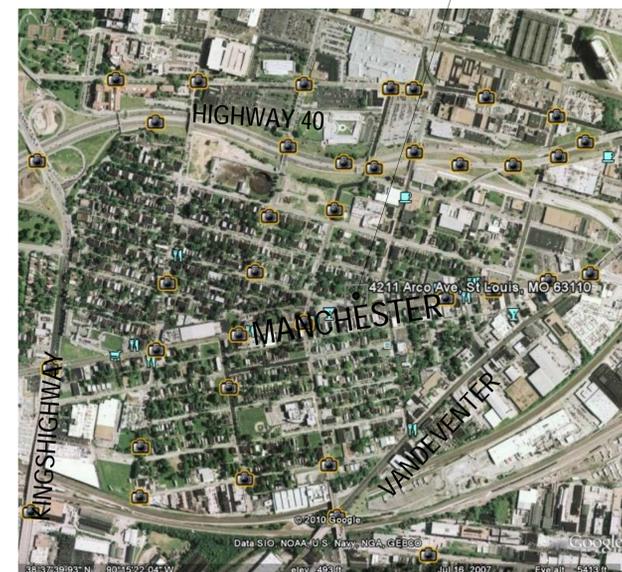


SHEET LIST SUMMARY		DRAWING SET				
SHEET TITLE	DESCRIPTION	ISSUE DATE		Historic Tax Credit Application	Bid Set	Permit Set
		12/28/10	1/15/10			
A0.1	Cover, Sheet List, Code Notes	•	•			
A0.2	General Notes, Symbols, Site Plan, Wall Types	•	•			
A1.0	Existing Conditions - Floor Plans	•	•			
A1.1	Existing Conditions - Exterior Elevations	•	•			
A2.0	Demolition - Floor Plans	•	•			
A2.1	Demolition - Exterior Elevations	•	•			
A3.0	Floor Plans	•	•			
A3.1	Exterior Elevations	•	•			
A3.2	Sections / Exterior Details	•	•			
A3.3	Wall Sections / Exterior Details	•	•			
A3.4	Framing Plans	•	•			
A4.0	Interior Details	•	•			
A4.1	Interior Details	•	•			
		12	13	0	0	0

Location Map

4211 Arco Avenue, 63110

SCALE: NTS



Photograph - Front

4211 Arco Avenue, 63110

SCALE: NTS



Photograph - Rear

4211 Arco Avenue, 63110

SCALE: NTS

Grove House Residential Renovation

4211 Arco Avenue
Saint Louis, Missouri 63110

Project No. 09.021.00
Historic Tax Credit Package - Not for Construction

Structural
SSC Swim, Schuchat & Cornett Engineering, Inc
18207 Edison Avenue
St. Louis, MO 63005
ph: 636.530.7770x107 fax: 636.530.7877
Contact: Rich Kwiatowski, PE, SE - rkwiatowski@sscengineering.com

HKWArchitects

5017 Washington Place Suite 200 St. Louis, Missouri 63108 314.361.0000 ph. 314.361.9191 fax www.hkwarchitects.com



4211 Arco Avenue, St. Louis, Missouri 63110
Historic Tax Credit Package
10.004.00
28 December 2010

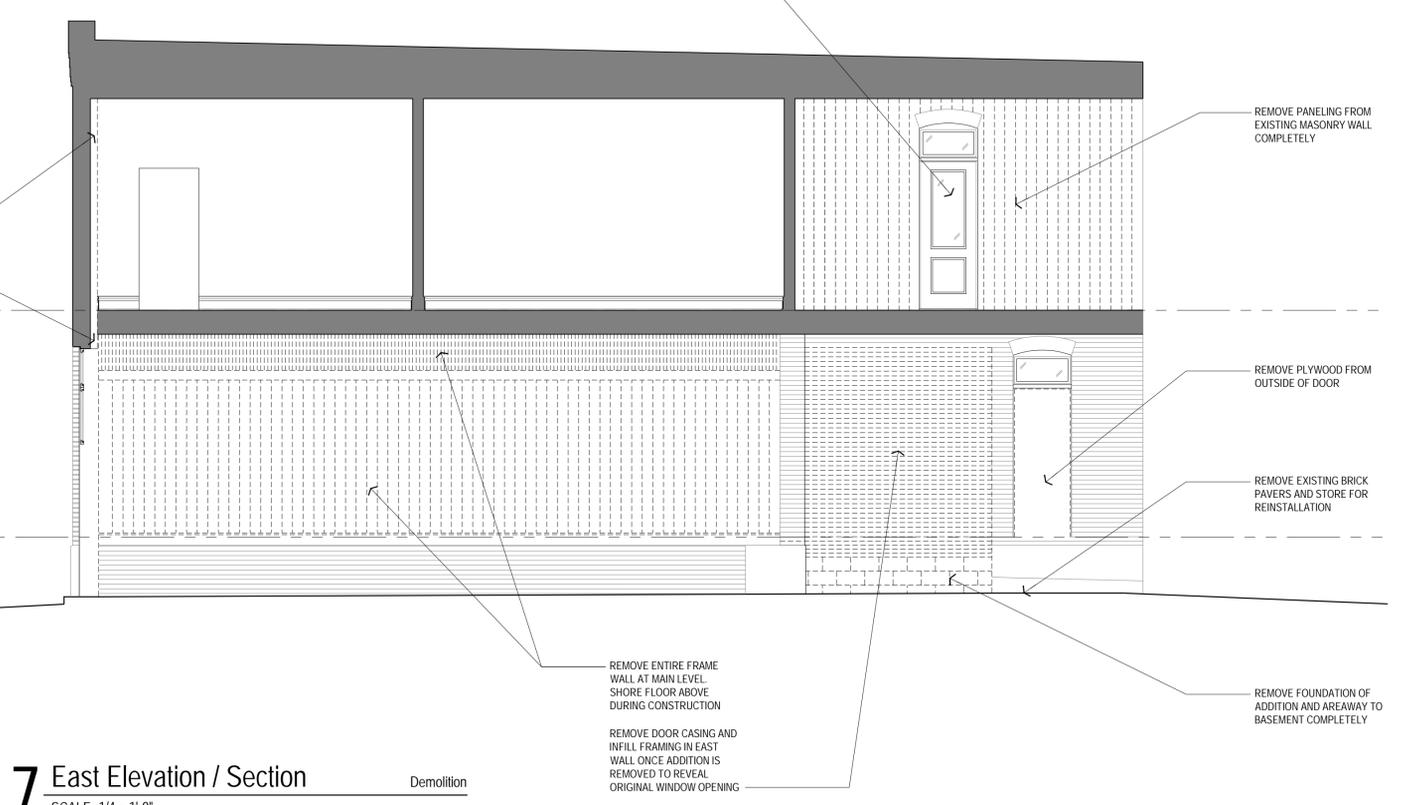
HKW Architects

FRONT WINDOWS WERE REPLACED WITH SMALLER UNITS BY PREVIOUS OWNER. OPENING SIZES WERE REDUCED AND MASONRY ARCHES ABOVE WINDOWS WERE REMOVED AND NEW BRICK AND A STEEL LINTEL WAS ADDED AT EACH PAIR. THE AREA ABOVE THE WINDOWS WAS COVERED WITH PERMASTONE WHICH HAS NOW BEEN REMOVED - TYPICAL



5 South Elevation
SCALE: 1/4" = 1'-0"
Demolition

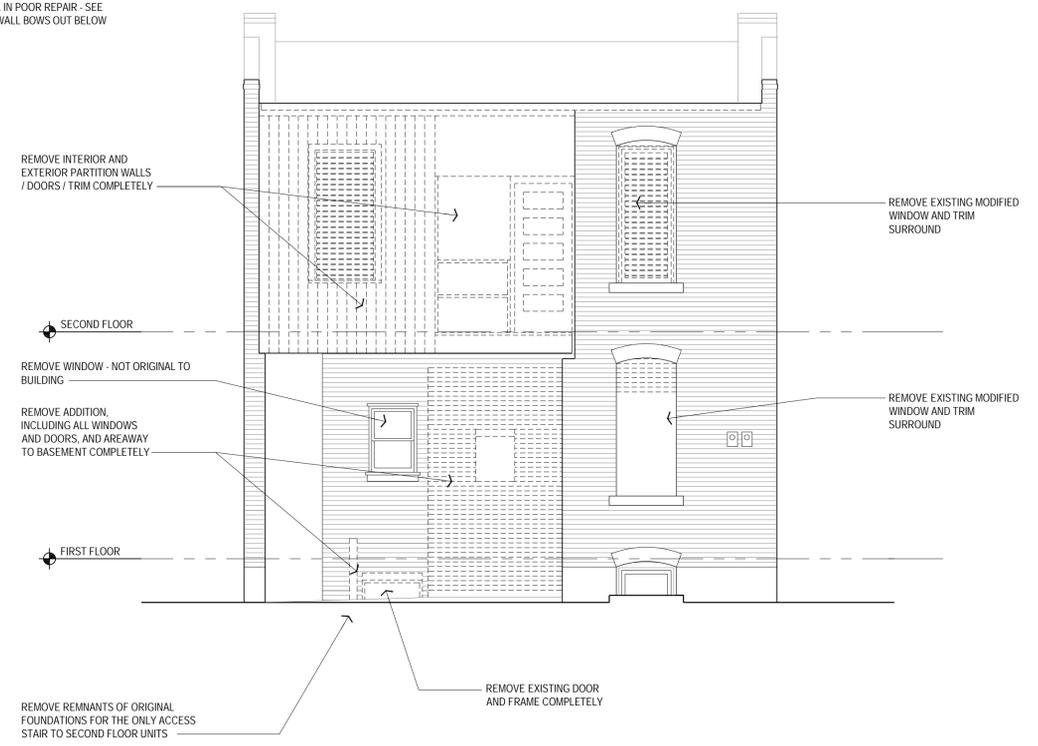
NOTE: THE SOUTH WALL (ARCO AVENUE) HAS SIGNIFICANT DETERIORATION AND REQUIRES A MAJOR RESTORATION. ABOUT 60% OF THE MORTAR HAS DETERIORATED TO A POWDER AND PROVIDES NO FRICTIONAL CAPACITY TO RESIST LATERAL LOADS BOTH IN PLANE AND OUT OF PLANE TO THE WALL. THERE IS NO STRUCTURAL TIE BACK TO EACH FLOOR WHICH IN HEAVY WINDS OF SEISMIC LOADING COULD CAUSE THE WALL TO PULL AWAY FROM THE BUILDING AND COLLAPSE. PERMASTONE WAS APPLIED TO THE FRONT FACE OF THIS WALL BY A PREVIOUS OWNER AT THE SAME TIME AS, OR FOLLOWING, THE INSTALLATION OF NEW SMALLER WINDOWS AND THE MODIFICATION OF THOSE OPENINGS. THE REMOVAL OF THIS PERMASTONE HAS CAUSED SIGNIFICANT DAMAGE TO THE FACADE.



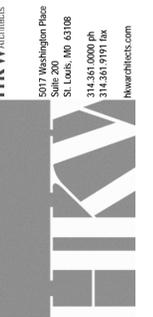
7 East Elevation / Section
SCALE: 1/4" = 1'-0"
Demolition



13 West Elevation
SCALE: 1/4" = 1'-0"
Demolition



15 North Elevation
SCALE: 1/4" = 1'-0"
Demolition



HKW Architects
5017 Washington Place
St. Louis, MO 63108
314.361.0000 ph
314.361.9791 fax
hkwarditcts.com

NO.	DATE	REVISIONS

Grove House
Residential Renovation
4211 Arco Avenue
St. Louis, MO 63110

A2.1
Demolition - Elevations
28 December 2010
kcm 09.021.00

4475 Chouteau Avenue

Site Address: 4475 Chouteau Ave.

Request: Community Support for the project

Company Name: Above All Development, LLC

Contact Person(s): Bryan Aston

Mailing Address: 10411 Clayton Road, Suite 308, St. Louis, MO 63131

Company Owners / Principals: Bryan Aston, Stan McCurdy, Jeff McCurdy and Tom Behle

Project Information

History of site

Owner, Taylor Papin, LLC, an affiliate of Above All Development, bought the property in May 2012 as part of a larger tract which now includes the Home2 Suites and Aventura at Forest Park apartments.

Proposed Project

To develop the property into a three-story, 7-unit apartment building with a 500 sf non-residential space on ground floor. Apartments will be market rate. Property is .135 acres. The building will have a brick and Nichiha façade.

Parking

The development will have 6 open air parking spaces and 4 garage spaces.

Current Zoning Boulevard Type 1 (B1)

Project Costs:

Acquisition:	\$ 50,000
Pre-development Soft Cost:	\$ 300,000
Construction Cost:	\$ 1,000,000
Total:	\$ 1,350,000

4475 Chouteau Avenue

Project Timeline:

Site Control:	Owned by Developer
Construction Start:	March 2019
Construction Complete:	March 2020
Occupancy:	March 2020

Relevant Experience

Developed Home2 Suites, Aventura at Forest Park and the town homes at Chouteau and Tower Grove. The developer has built thousands of units throughout St. Louis County and the United States.

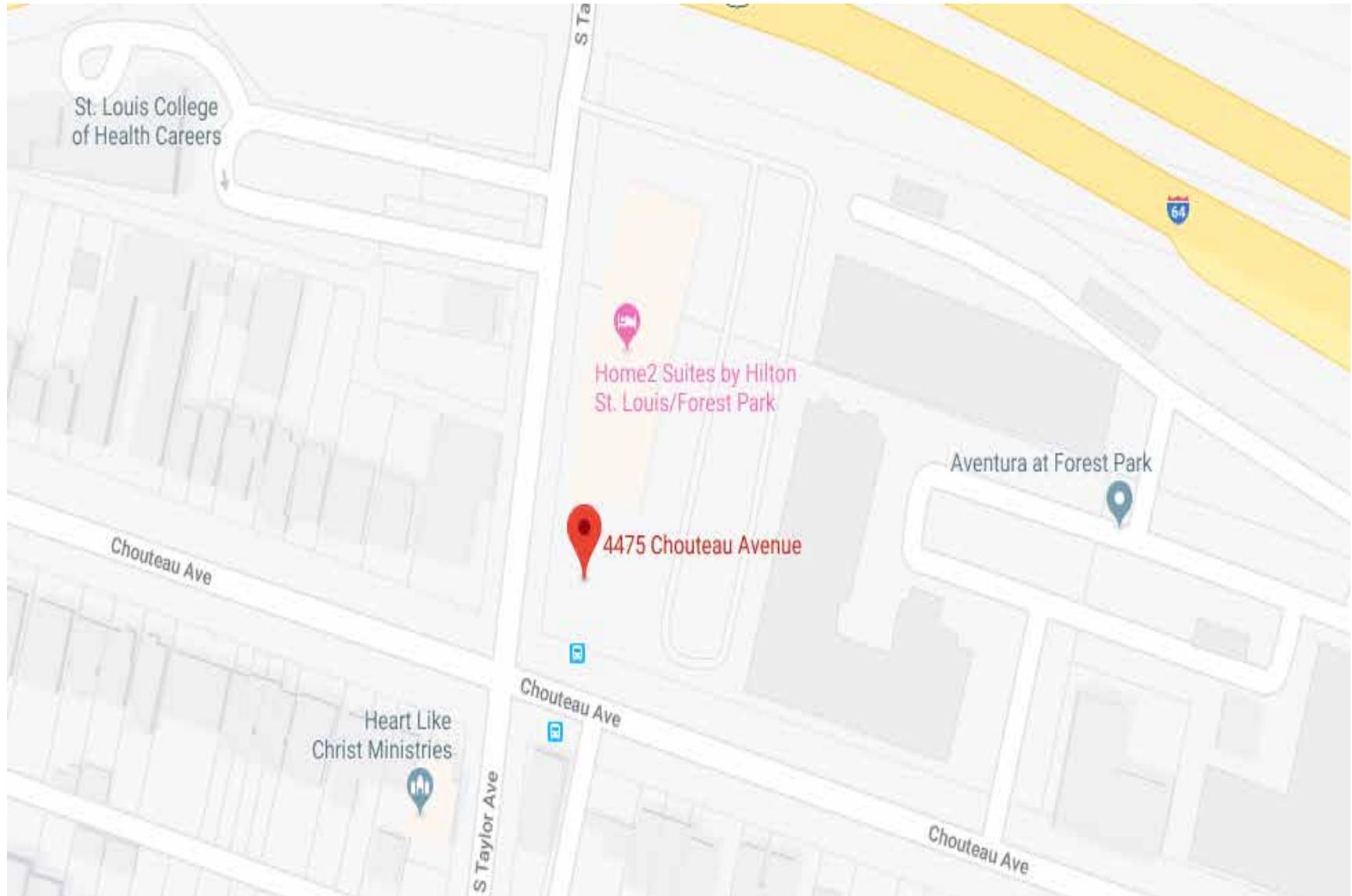
Will the project seek financial incentives from the City of St. Louis? No incentives will be sought for this project.

Park Central Recommendation

Park Central Development recommends support of this project and support of the demolition of the current buildings with the following conditions:

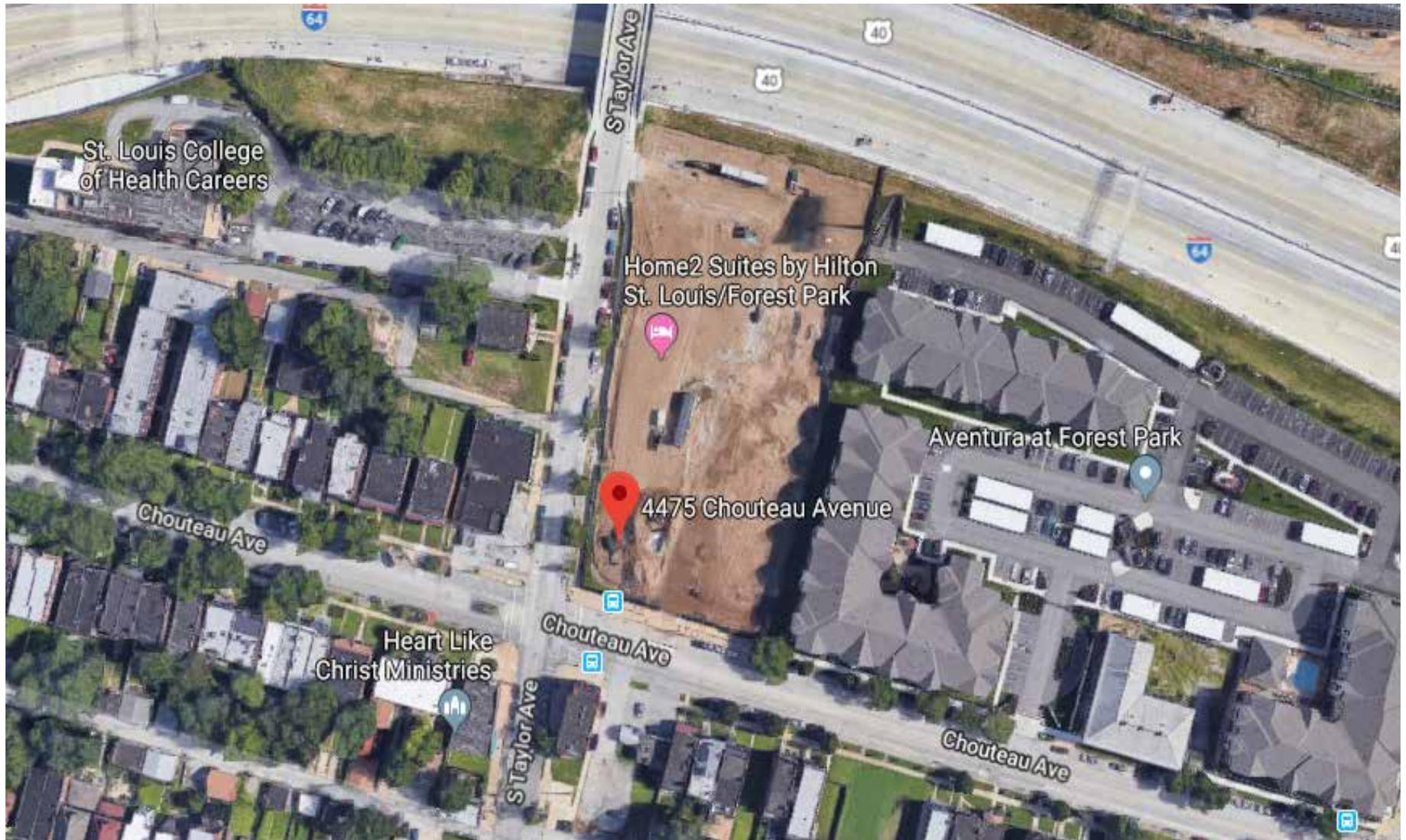
1. The developer coordinates its exterior security cameras and placement of them with the NSI, and partner with the FPSE Camera Network to provide access when crimes occur.
2. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

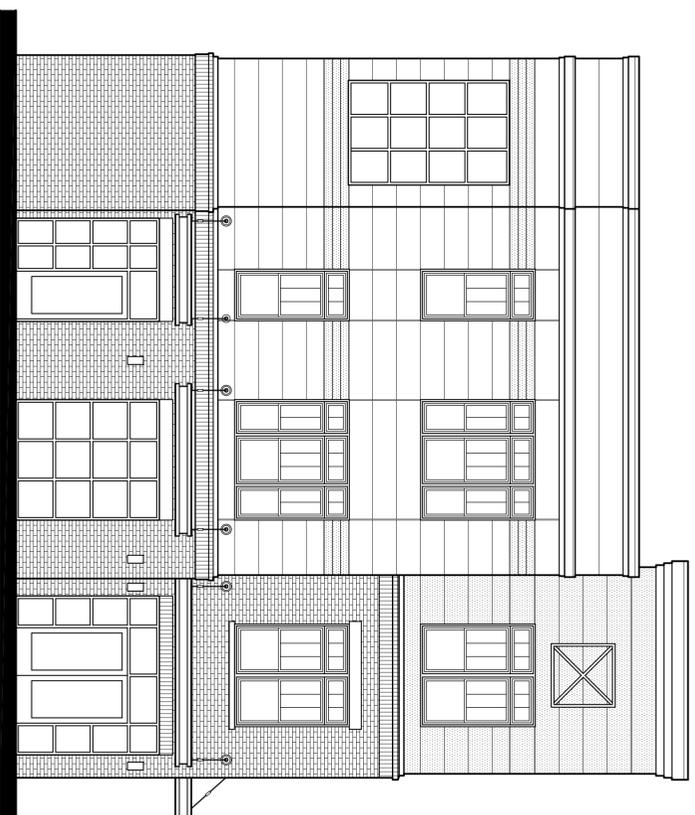
Site Map



4475 Chouteau Avenue

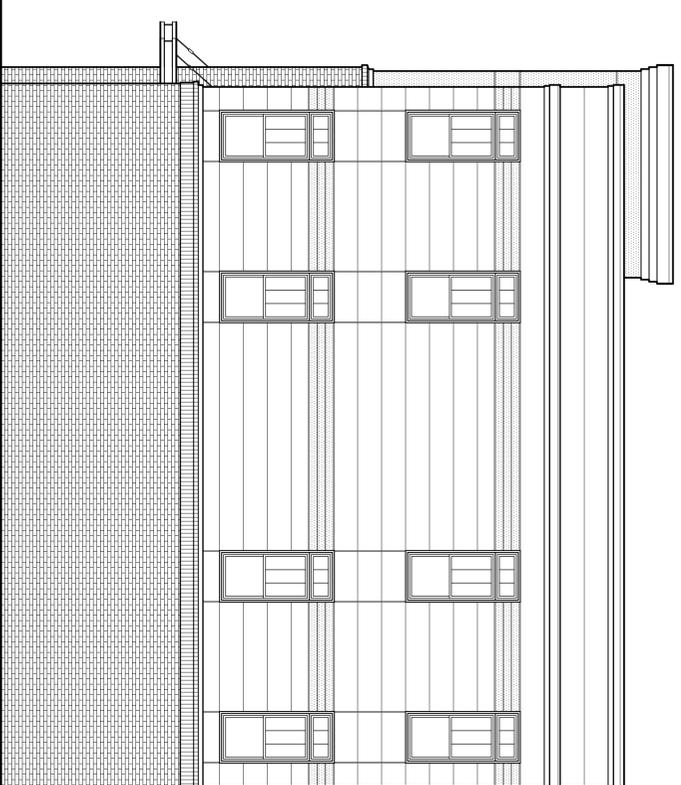
4475 Chouteau Front Aerial View





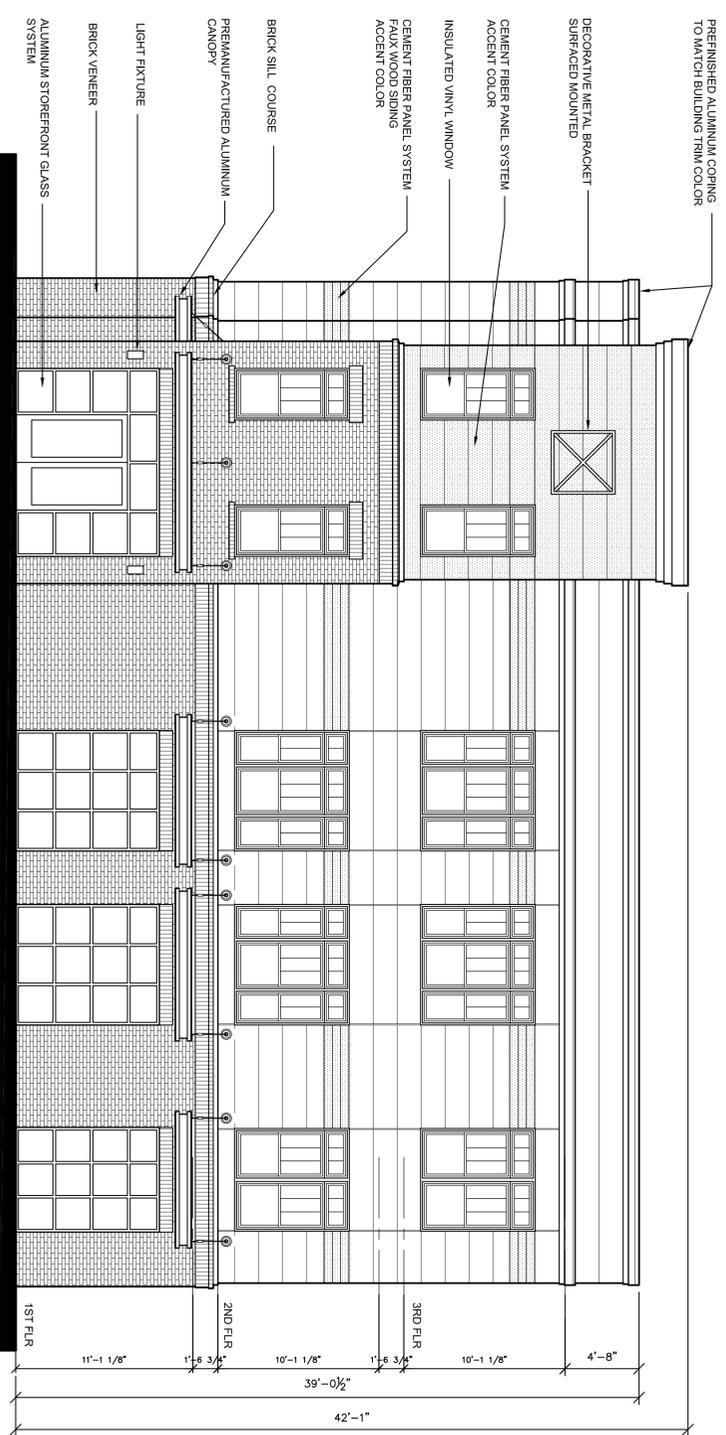
TAYLOR AVE ELEVATION

SCALE 3/16"=1'-0"



EAST ELEVATION

SCALE 3/16"=1'-0"



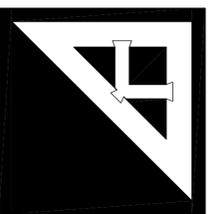
CHOUTEAU AVE ELEVATION

SCALE 3/16"=1'-0"

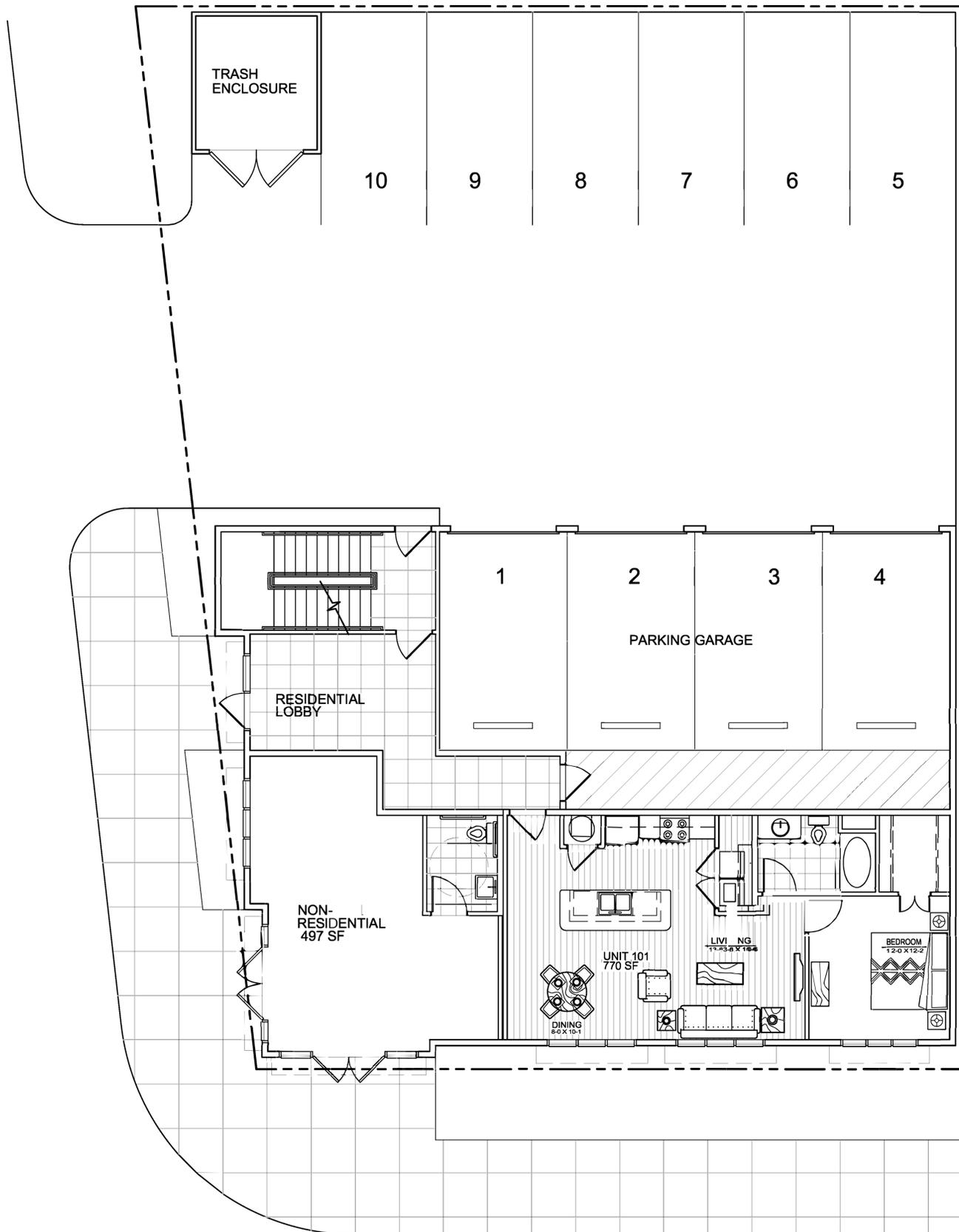


NORTH ELEVATION

SCALE 3/16"=1'-0"



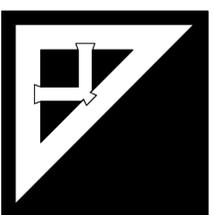
Parker Associates Tulsa, LLC
 2202 E. 49th Street South
 Suite 200
 Tulsa, OK 74105
 (918)-742-2485



TAYLOR AVENUE

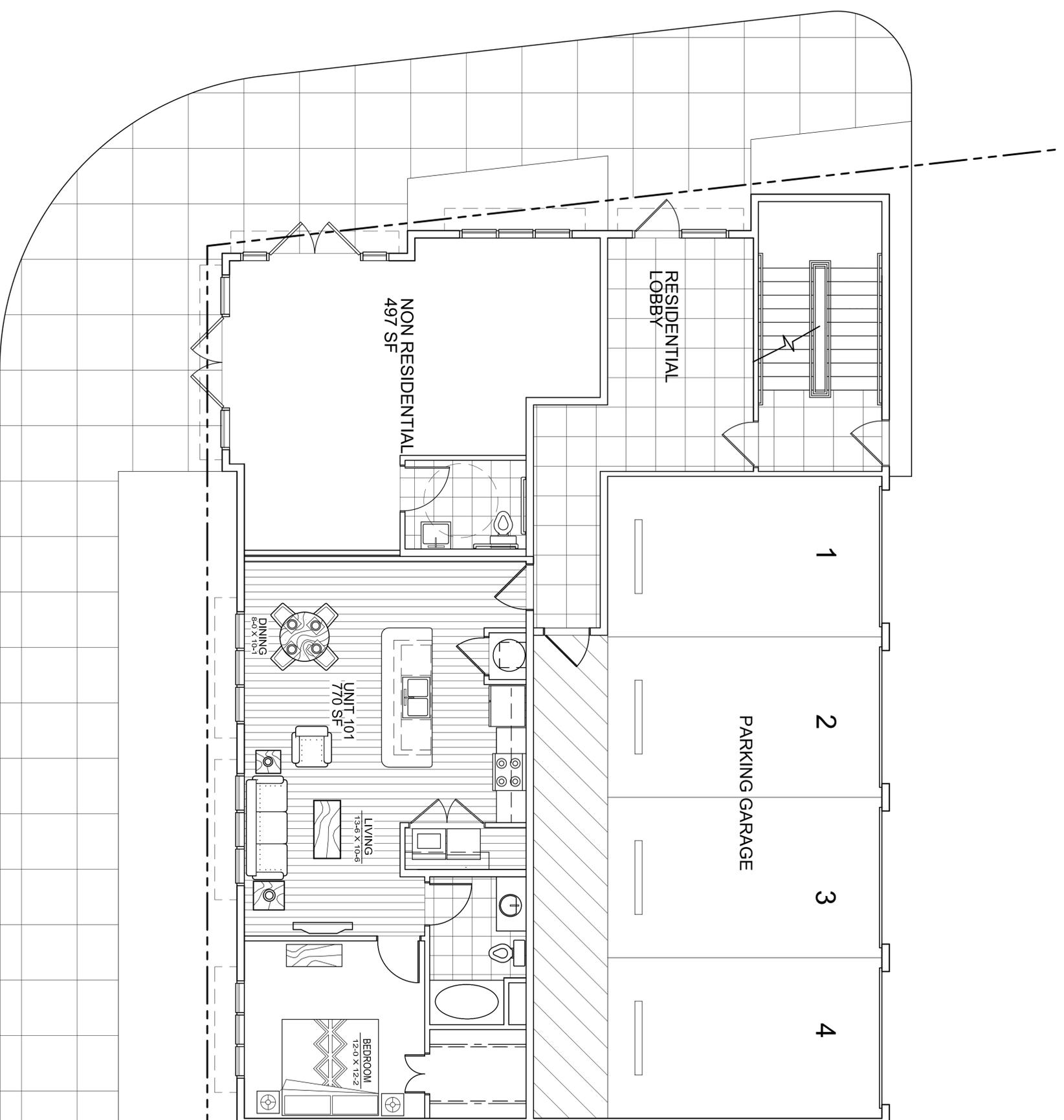
CHOUTEAU AVENUE

SITE PLAN
SCALE 3/16"=1'-0"



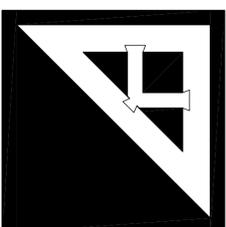
Parker Associates Tulsa, LLC
2202 E. 49th Street South
Suite 200
Tulsa, OK 74105
(918)-742-2485

TAYLOR AVENUE



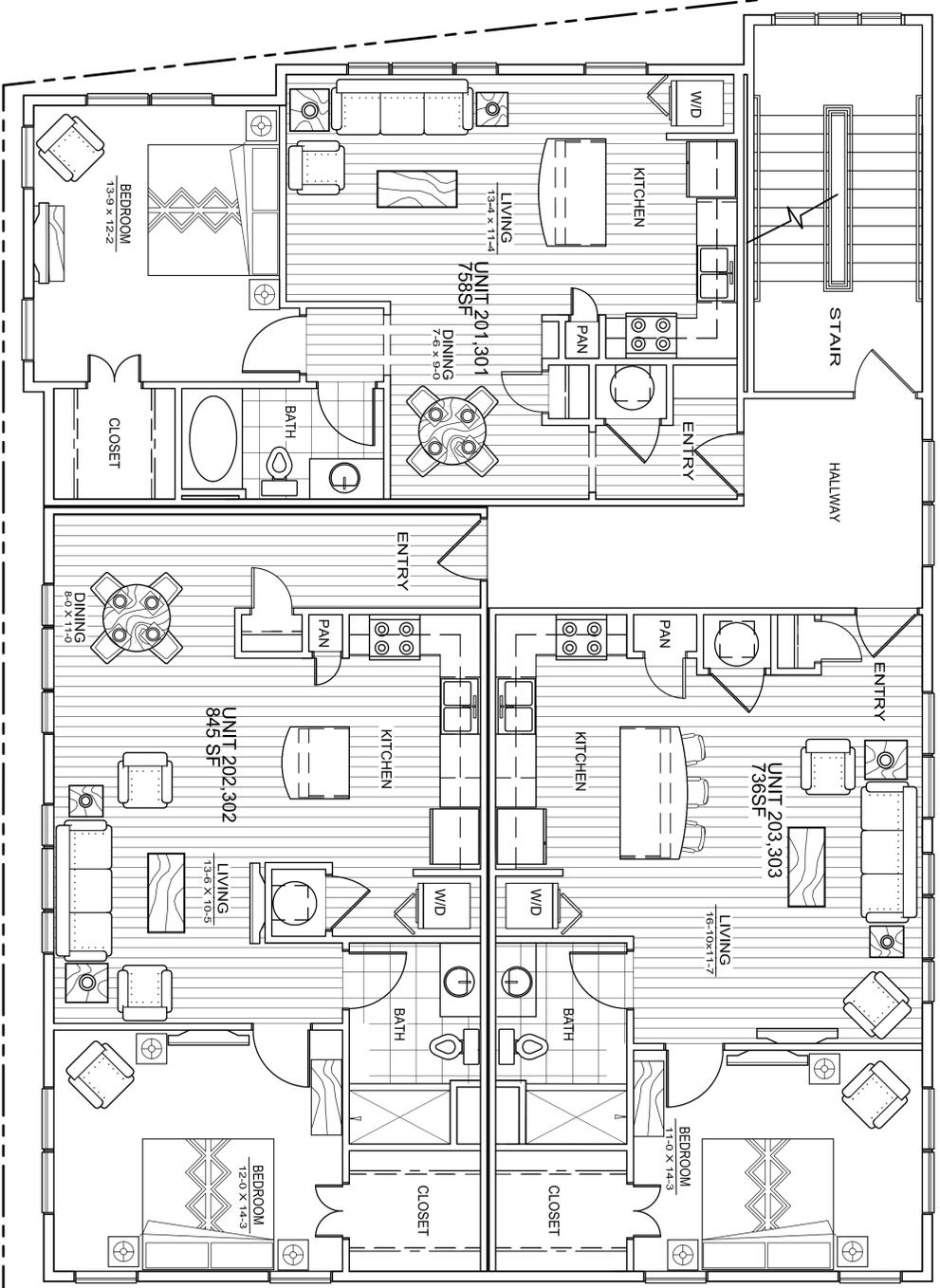
FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



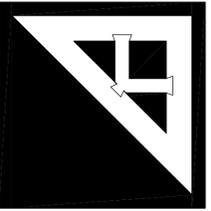
Fier Associates Tulsa, LLC
202 E. 49th Street South
Suite 200

UNITECH AVENUE



SECOND/THIRD FLOOR PLAN

SCALE 1/4"=1'-0"



Parker Associates Tulsa, LLC
 2202 E. 49th Street South
 Suite 200
 Tulsa, OK 74105
 (918)-742-2485