

FOREST PARK SOUTHEAST DEVELOPMENT COMMITTEE

May 30, 2018 5:30 P.M. MEETING AGENDA

1. Intro	oductions		5 Minutes
2. Min	utes from April 24, 2018		
Conc	ditional Use and Community S Park Central Presentation Business Presentation Public Comments	Support Letter	rden: Request for support for
•	Park Central Presentation Business Presentation Public Comments		nd Demolition of an existing structure
•	Business Presentation Public Comments		Letter
•	Park Central Presentation Business Presentation Public Comments		the project from 11-28-17 Meeting
•	Business Presentation Public Comments Committee Comments		
8. Closed Session			



FPSE Development Committee Meeting Minutes April 24, 2018 at 5:30 pm at 4512 Manchester, St. Louis, MO 63110

Committee members in attendance: Guy Slay, John Boldt, Brian Phillips, Mark Mangapora,

Tom Ernst, Sharon Blaine, Patrick Brown, Kasan Moore

Committee members not present: Meredith Jones, Patrice Willis, David Wolfe

Staff in attendance: Abdul Abdullah and Annette Pendilton

Others in attendance: Jodie Allen, Ron Coleman

1. Call to Order:

J. Boldt called the meeting to order at 5:31 pm.

2. Minutes from November 28, 2017

B. Phillips motioned to approved November 28, 2017 meeting minutes. Guy Slay seconded. Minutes approved 7-0-1 with Patrick Brown abstaining.

3. A. Abdul announced that there are three new board members. He also stated that because of the new Form Based Code, there will be a lot of zoning changes and there will be different meetings in the future because of these changes.

A. Abdul is also requesting a meeting in May due to there will be four to six requests that will be coming before the board.

4. 4366 Manchester: Request for support for Conditional Use

A. Abdul presented the request as follows:

The site address is 4366 Manchester, St. Louis, MO 63110. Company name is Fresh Art Photography and is requesting a support letter for a Conditional Use hearing. The company owner is Jodie Allen. Building owner is Austin Barazantny. The site was previously the home to Mission St. Louis. The site has been vacant since 2016. The site is now utilized as a rental commercial space by the Grove Properties.

The owner of Fresh Art Photography, Jodie Allen, is seeking to move her business from her current location in Webster Groves to 4366 Manchester. The functions and activities this business will conduct in this space are photographing new born babies, children, families and personal branding head shots, as well as host meetings and workshops on photography. Square footage is 1,325 square foot of retail space.

Current Zoning is Neighborhood Center Type 1 – under the FPSE Form Based Code the area is zoned for primary retail use on the first floor. The code list prohibited retail uses and allowable retail uses. Any retail use not mentioned by name is classified as a conditional use. The use requested is not mentioned or listed and is defaulted to a conditional use.

Project timeline is Conditional Use Hearing with City of St. Louis is May 10, 2018. Expected opening date is May 14, 2018. Occupancy capacity is 25 people.

History of business and experience, the owner, Jodie Allen, has been a professional photographer since 2006 and started Fresh Art Photography in 2009. The business has no known violation or nuisance issues in its current location in Webster Groves.

A Abdul stated that the Park Central staff recommendation is to support the proposed conditional use proposed by Fresh Art Photography with the following conditions:

A. Agree to sign the Grove Good Neighbor Agreement

5. Business Presentation

J. Boldt opened up the meeting to hear from owner as well as any public comments. Jodie Allen stated that she has been taking pictures professionally for 10 years been in business in Webster Groves for about five years. Her dream has been a store front and wanted to be in the city and to have natural light. She specialize in newborns, children, maternity, head shots personal branding for small businesses, loves her job. Work with businesses, excited about moving in the area and getting to know the businesses. She really wants to move into the Grove area and is hoping the board will approve the support.

6. Public/Committee Comments

- B. Phillips asked how many employees do you? Jodie Allen answered technically it's just her but do contract one employee as an assistant. Only need the space to shoot pictures.
- B. Phillips asked if there will be retail sales? Jodie Allen responded that her business is registered in the Grove and purchases made at the store will be retail. She also said that she will rent out space to other photographers.
- B. Phillips asked about general working hours? Jodie Allen responded 9:00 am 1:00 pm Monday through Friday, holiday hours specials and weekends. Workshops or meetings will be in the evenings.
- P. Brown stated that he read that head shots for social media is up and wanted to know if it was for her business. Jodie Allen answered that they have.
- M. Mangapora asked if she would be adding any signage or graphics in the window? Jodie Allen answered will hang a pendant lamp with transit numbers and a decal on the main windows.

7. Closed Session

There was a motion made by J. Boldt to grant a letter of support for conditional use for 4366 Manchester. The motion was seconded by G. Slay. The motion passed 8-0-0.

8. Next meeting will May 30, 2018 at 5:30 pm. Meeting adjourned at 5:54 pm.

Transgendered Community Garden Expansion Conditional Use Approval

Site Address: 1469-73 Vandeventer, 1475-83 Vandeventer, 1485-87 Vandeventer, 4216-22 Hunt

Company Name: Metro Trans Umbrella Group of St. Louis, Inc. (aka "MTUG")

Request: Support letter for a Conditional Use hearing. Approval for permanent establishment of the Transgender Memorial Garden at the corner of Hunt and Vandeventer Aves., requiring the acquisition of City-owned and privately-owned parcels of land.

Contact Person(s): Jodie Allen Jaimie Hileman, Transgender Memorial Garden Leadership Team; Elaine Brune, MTUG Board President

Mailing Address: N. Skinker Blvd., St. Louis, MO 63130

Company Owner(s) / Principal(s): Sayer Johnson, Executive Director MTUG STL; Elaine Brune, President, Board of Directors, MTUG STL

Project Information

Building Owner: Austin Barzantny, President of Grove Properties

History of Site:

The Garden was designed and planted in spring 2015. It has since been maintained and improved by the Transgender Memorial Garden Leadership Team through regularly scheduled maintenance activities and community-building work days. Four parcels are owned by LRA; two parcels are owned by private entities. The Garden is the only one of its kind in the United States

Proposed Project/Business:

The goal of this request is to secure the future of the Transgender Memorial Garden by acquiring the publicly and privately-owned parcels on which the Garden currently sits and realizing the original design (completing the perennial borders, improving the hardscape of the central path, and adding a garden shed to store equipment).

Square footage of Project:

20,000 square feet

Transgendered Community Garden Expansion Conditional Use Approval

Current Zoning:

B2 (Boulevard Type 2 (B2) The code list prohibited retail uses and allowable retail uses. The use requested is not mentioned specifically as a permitted or prohibited used and is there by classified as a conditional use. This conditional use will be classified under section 5.3 Civic/Institutional Uses table page 5-1 of the Forest Park South East Form Based code.

Project Timeline:

MTUG will begin negotiations with land owners and launch a capital campaign immediately after approval by the various civic, legislative, and regulatory authorities. Completion of capital campaign and purchase of parcels is anticipated within one year. Land improvements will commence immediately upon securing land titles. Final project will be completed within two years.

History of Business and Experience

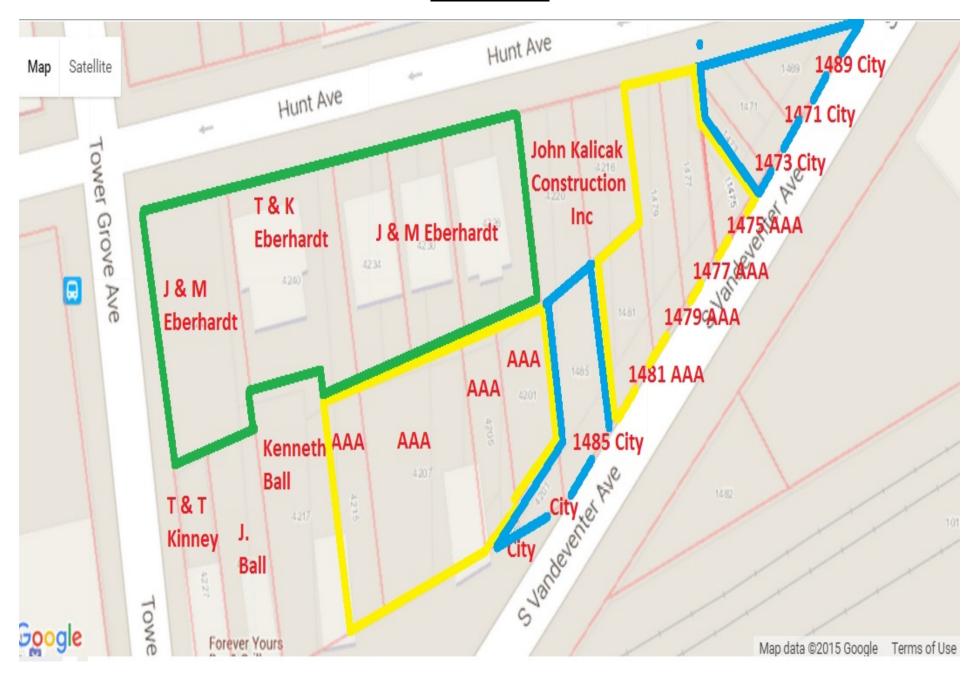
Employees and volunteers of MTUG (along with other organizations) have created and maintained the Transgender Memorial Garden for three years. The Garden's Leadership Team consists of a Missouri Master Gardener, and members and volunteers with years of experience with outdoor gardening and landscaping, project development, real estate, non-profit management, event management, grant writing, and fundraising. MTUG also has a successful track record of fundraising throughout the year.

Park Central Staff Recommendation

Support the proposed conditional use proposed by MTUG with the following conditions:

- 1. Agree to sign the Grove Good Neighbor Agreement.
- 2. Upon approval provide a maintenance plan for the upkeep of the park

Property Location



Current Property (viewed from Vandeventer)



Site Address: 4438-4440 Swan Avenue

Request: Request for Community Support for this project and Demolition of an existing structure

Company Name: Series Prop 1A of HFC Properties LLC

Contact Person(s): Patrick Jackoway, Mark Mangapora (AD:Arch)

Mailing Address: 1069 Pinrun Dr. Ballwin, MO 63011

Company Owners / Principals: Patrick Jackoway

Project Information

History of site

4438: Vacant lot (1-story masonry house demolished in 1998)

4440: 1-story masonry house constructed in 1899

Proposed Project

The proposed project consists of (2) single-family attached homes in the style of a modern infill townhouse. The center dividing wall will be located on the property line between 4438 and 4440 Swan Ave. 4438 Swan Ave is a vacant lot, and will request demolition of the small 1-story house at 4440 Swan Ave. Each home will have open living, dining and kitchen spaces on the first level with (2) bedrooms, full bathroom and laundry on the second level. A master suite and roof deck will on the third level. The third level floor plans for each property are opposite so that one master suite faces Swan Ave and one side faces the rear of the property. This reduces the overall mass of the building and adds additional privacy to the roof decks. Each basement is designed for a conversion to a separate and legal 1-bedroom apartment should the future owners want to pursue their own tenants for additional rental income.

Parking

Each site will have a 2-car carport located at the rear of the site off the alley. They will not be visible from the street.

Current Zoning

Neighborhood General Type 2 (NG2)

Project Costs:

Acquisition: \$20,000
Pre-development Soft Cost: \$15,000
Construction Cost: \$506,000
Total: \$531,000

Project Timeline:

Site Control: December 2017 Construction Start: Summer/Fall 2018

Construction Complete: Spring 2019
Occupancy: Spring 2019

Relevant Experience

The AD: Arch has designed and completed numerous projects throughout STL City including new residential modern infill, residential & commercial historic preservation, multi-family & institutional buildings.

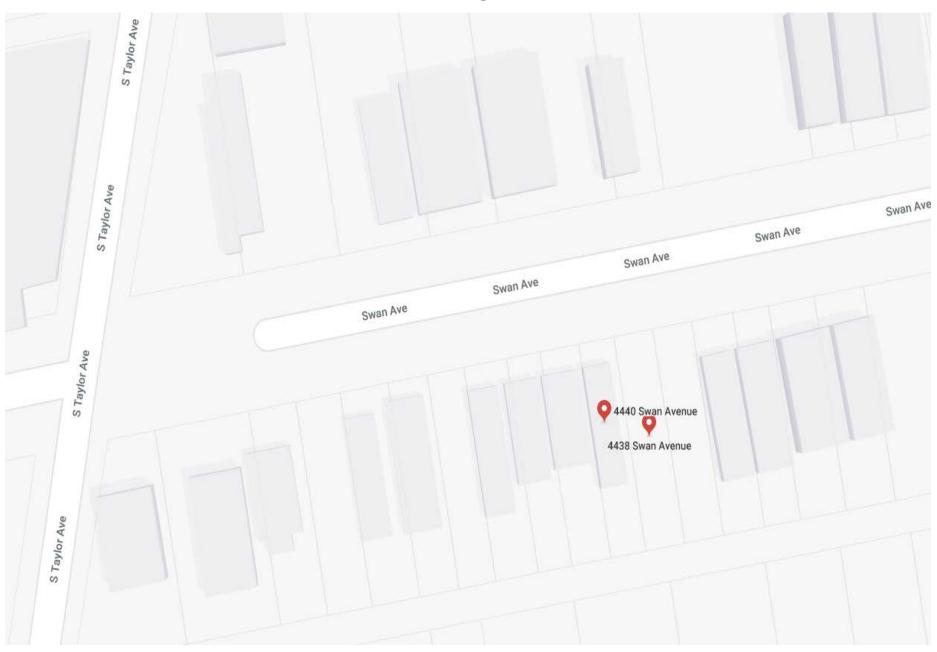
Will the project seek financial incentives from the City of St. Louis? The project will be asking the City of St. Louis for a 100% tax abatement for 5 Years per property for the buyers of each unit.

Park Central Recommendation

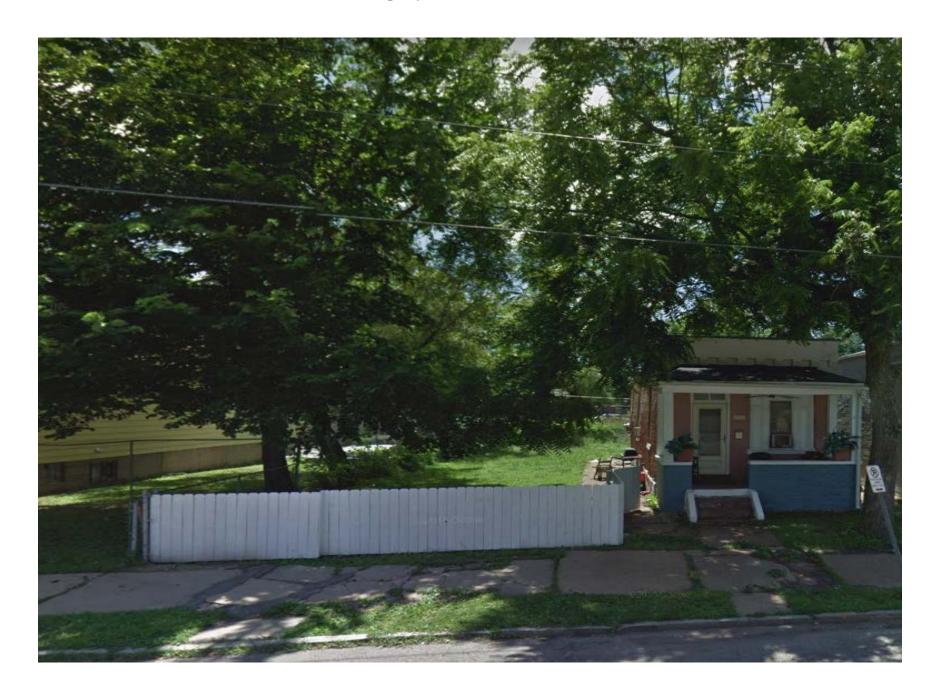
Park Central Development recommends support of the project with the following conditions:

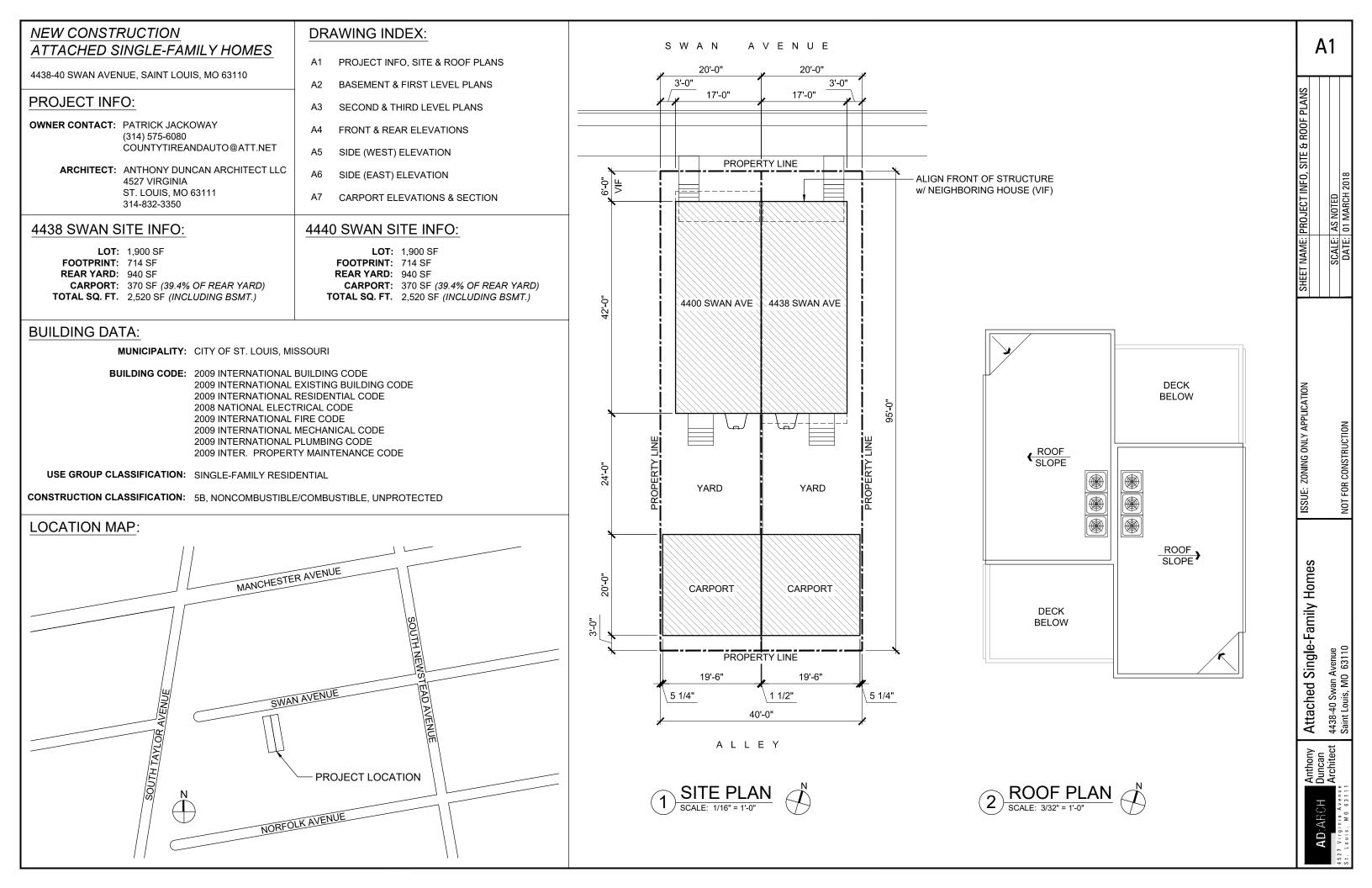
- 1. Any changes to the site plans that requires a variance should be brought before the FPSE Development Committee for review.
- 2. The demolition of the existing building be cleared through the City of St. Louis Department of Cultural Resources.
- 3.. The project repair and replace in public infrastructure that is impacted by this project.

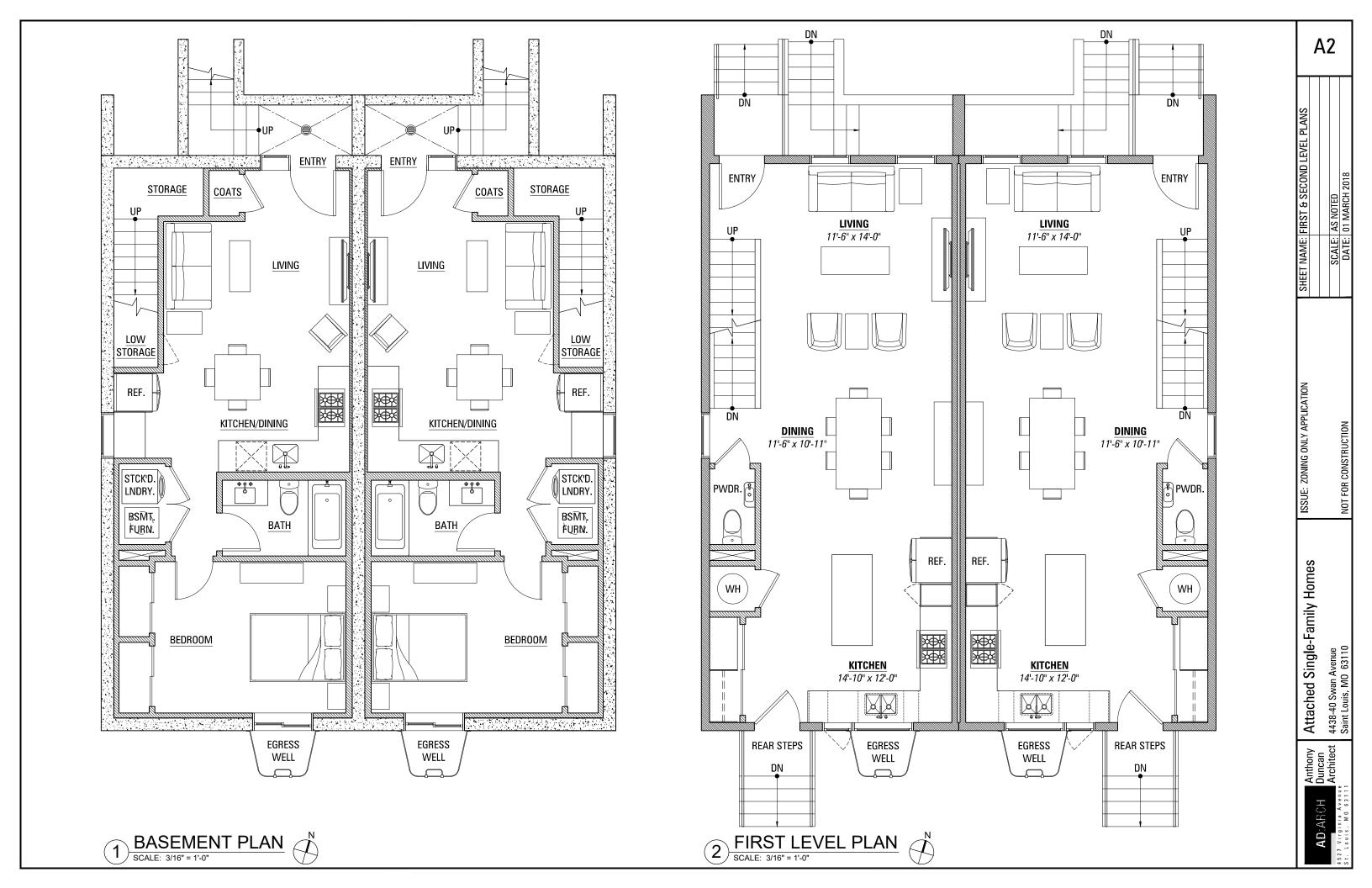
Site Map

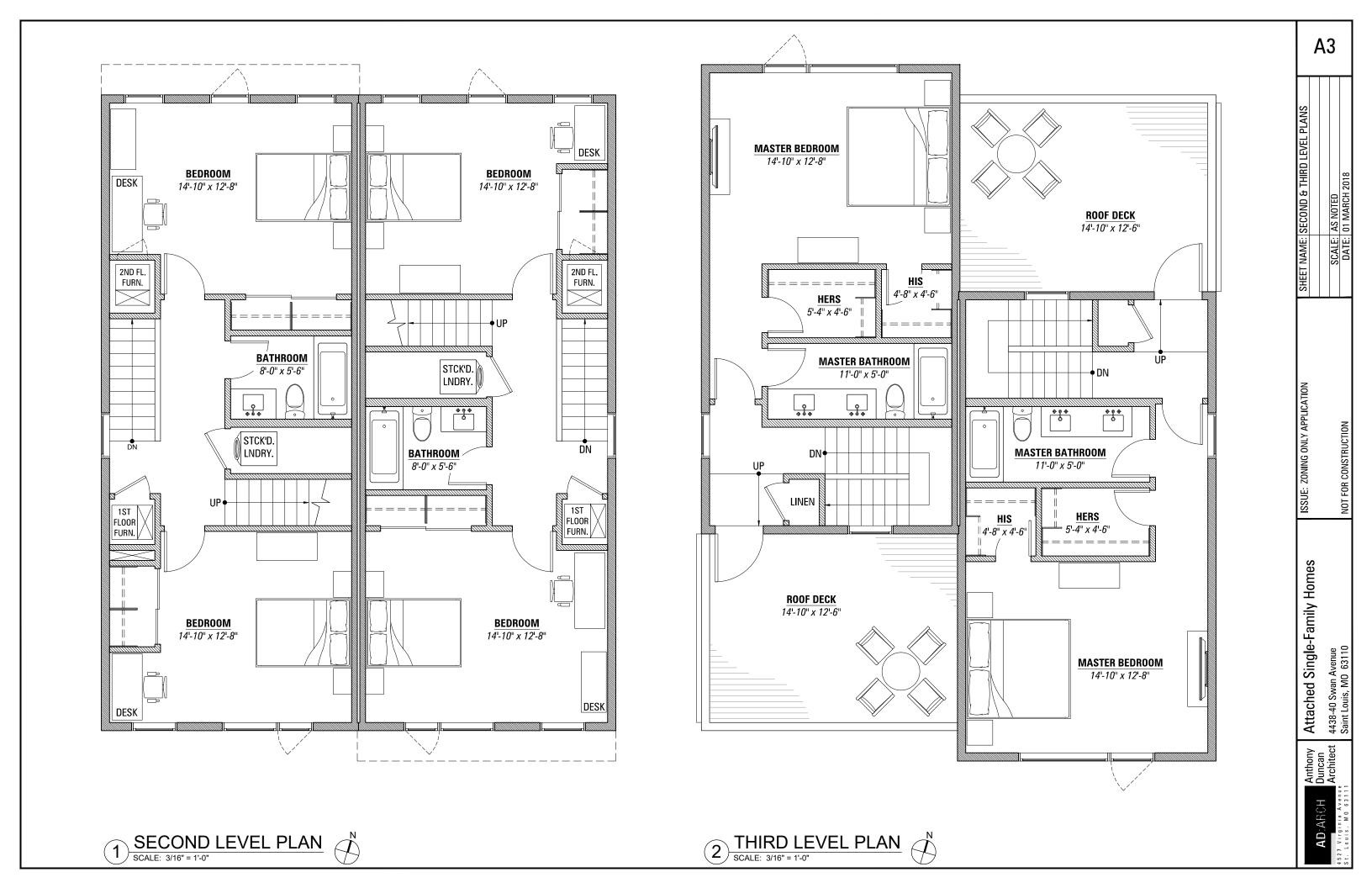


Property (Current Exterior)

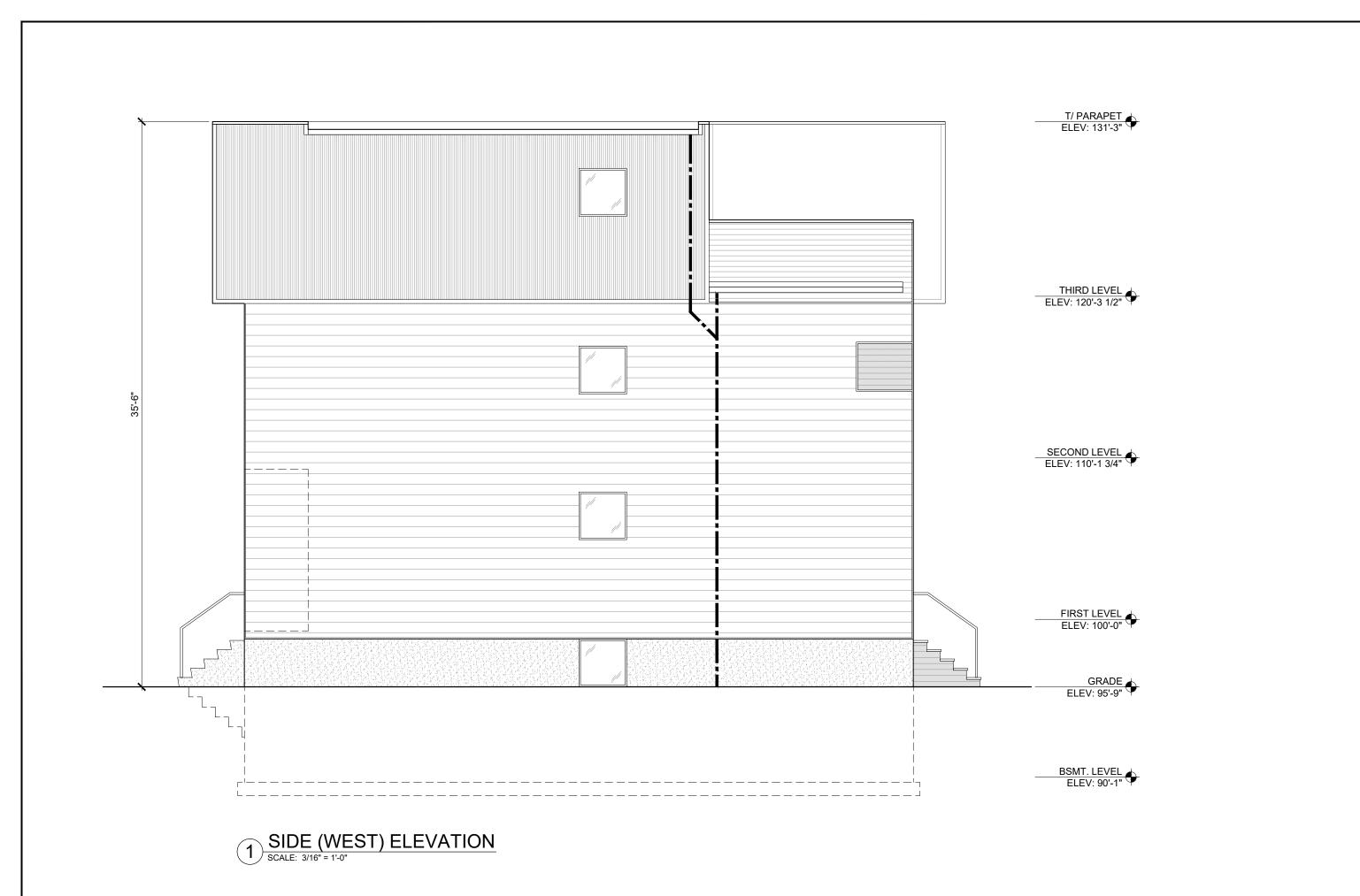










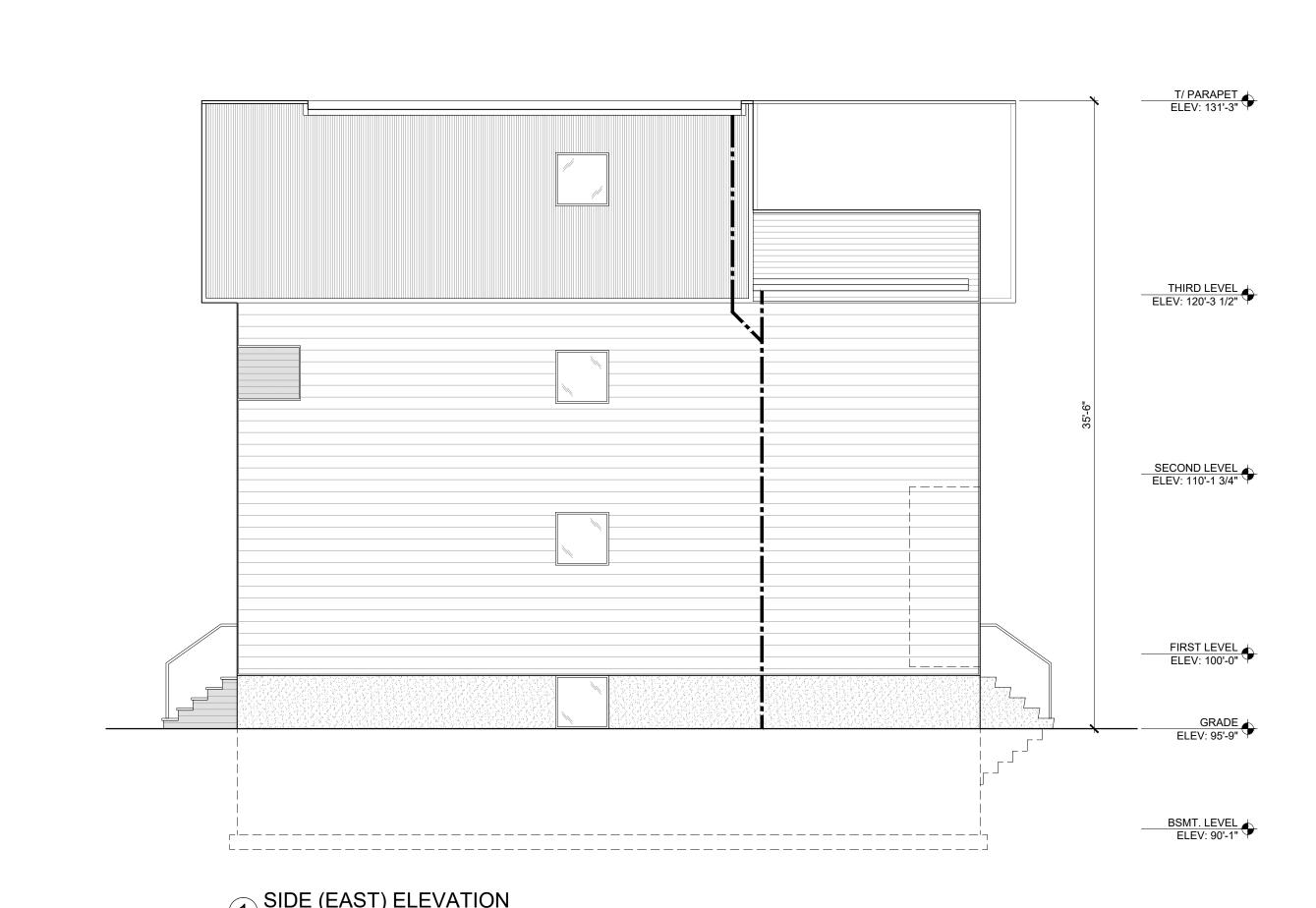


A5 SHEET NAME: SIDE (WEST) ELEVATION SCALE: AS NOTED DATE: 01 MARCH 2 ISSUE: ZONING ONLY APPLICATION

Attached Single-Family Homes 4438-40 Swan Avenue Saint Louis, MO 63110

Anthony Duncan Architect

AD:ARCH

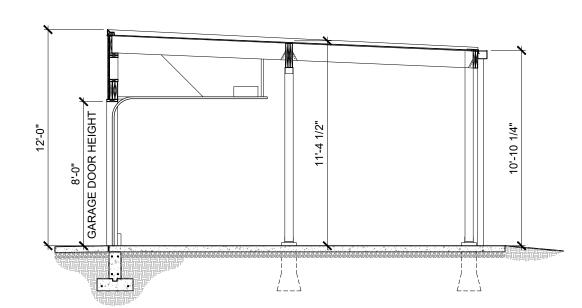


SIDE (EAST) ELEVATION

SCALE: 3/16" = 1'-0"

A6 SHEET NAME: SIDE (EAST) ELEVATION SCALE: AS NOTED DATE: 01 MARCH 2 ISSUE: ZONING ONLY APPLICATION

> Attached Single-Family Homes 4438-40 Swan Avenue Saint Louis, MO 63110



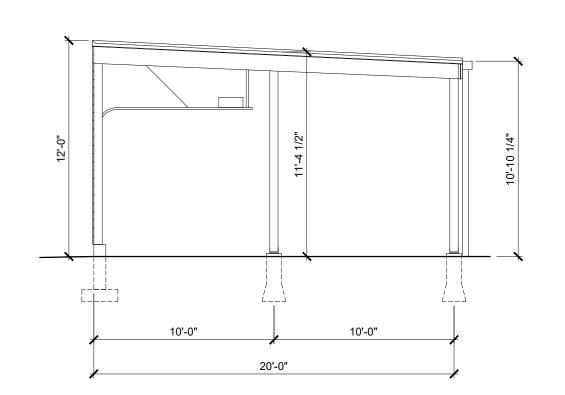
A7

SHEET NAME: CARPORT ELEVATIONS & SECTION

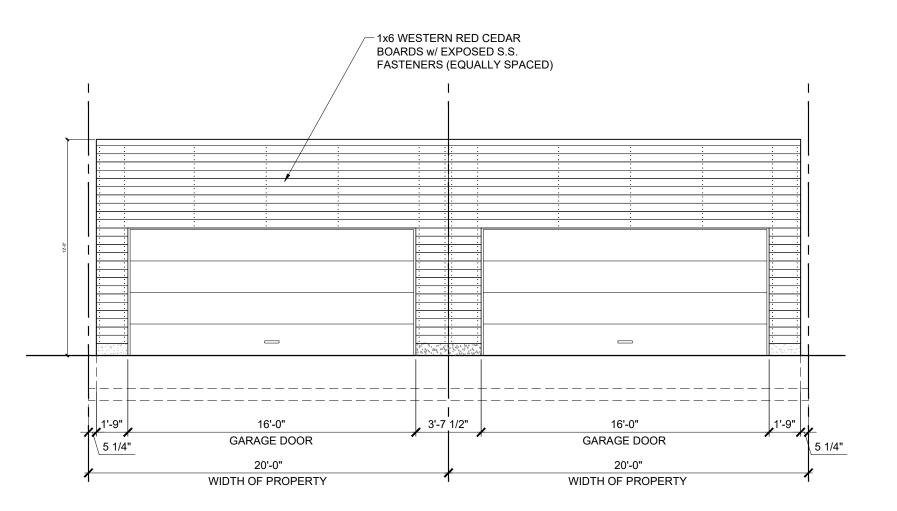
Attached Single-Family Homes

4438-40 Swan Avenue Saint Louis, MO 63110





CARPORT SIDE ELEVATION
SCALE: 3/16" = 1'-0" (SIMILAR OPPOSITE)



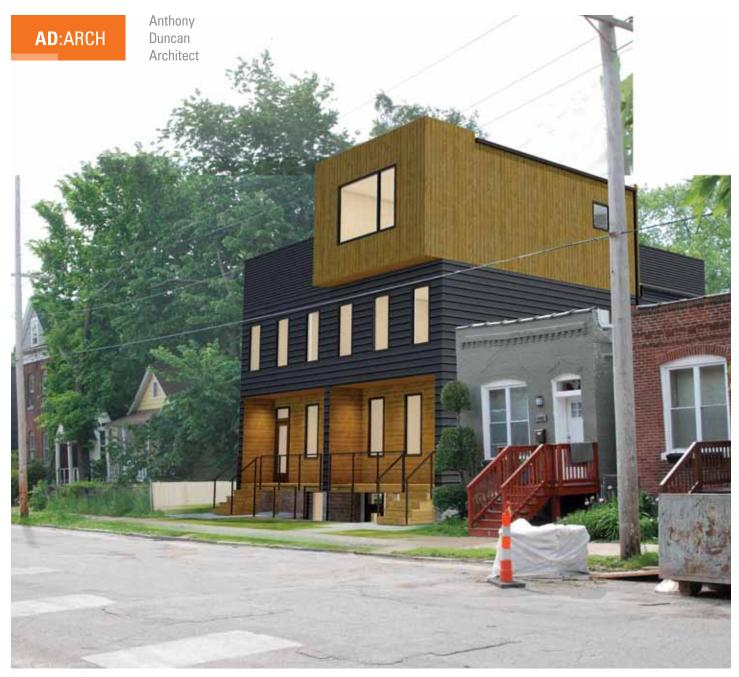


4438-40 SWAN AVENUE PRELIMINARY RENDERINGS



FRONT ELEVATION FROM SWAN AVENUE

4438-40 SWAN AVENUE PRELIMINARY RENDERINGS



OBLIQUE VIEW LOOKING SOUTHEAST

4156 Manchester Avenue

Site Address: 4156 Manchester, St. Louis, MO 63110

Request: Community Support for the project

Company Name: Hulse Commercial Real Estate

Contact Person(s): Peder Hulse

Mailing Address: 9100 Midland Blvd., Overland, MO

Company Owners / Principals: Peder Hulse

Project Information

History of site

The building is located at 4156 Manchester in the Grove. This is the site of the former Beyond Housing headquarters.

Proposed Project

The project will be a re-development of the currently vacant commercial building into a two-part, 6,000 sf retail space for Beast Craft BBQ Co. Of the 6,000sf, 4,000sf will be taken by Beast Craft BBQ restaurant and 2,000sf will house Beast Craft Market. The restaurant will serve BBQ meals to customers and the market will sell cuts of raw meat.

Parking

There will be 15 parking that are partial visible from the street.

Current Zoning

Neighborhood General Type 2 (NG2)

Project Costs:

Acquisition: \$ 540,000 Pre-development Soft Cost: \$ 122,100 Construction Cost: \$495,200 Total: \$1,157,400

Project Timeline:

Site Control: October 2017

Construction Start: May 2018 (Pre Demolition)

Construction Complete: November 2018
Occupancy: December 2018

Relevant Experience

Hulse Commercial Real Estate is a boutique St. Louis, MO based commercial real estate brokerage firm focused on representing tenants and landlords of commercial real estate. The principal, Peder Hulse, has over 12 years of experience advising companies and individuals on lease and sale transactions. He has a wide range of experience in real estate development, incentives advisory and in-depth knowledge of the people and places in local market.

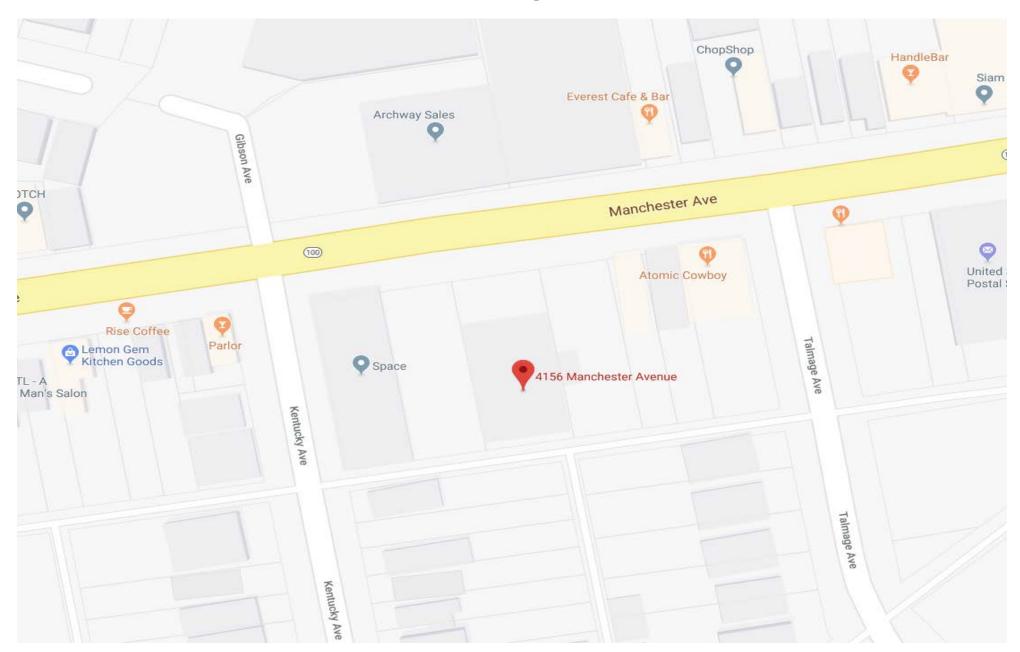
Will the project seek financial incentives from the City of St. Louis? The project will be asking the City of St. Louis for a tiered tax abatement for five (5) year period beginning at 100% year one (1) and ending at 0% at the end of year five. The building previously has been tax exempt under its former ownership which was a nonprofit.

Park Central Recommendation

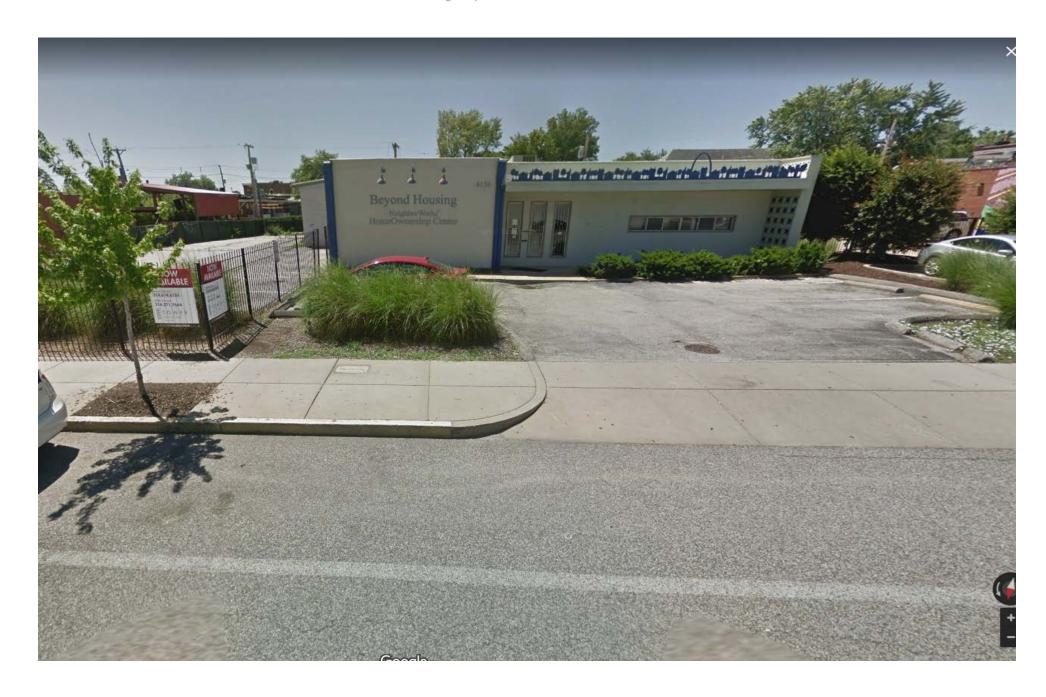
Park Central Development recommends support of the project with the following conditions:

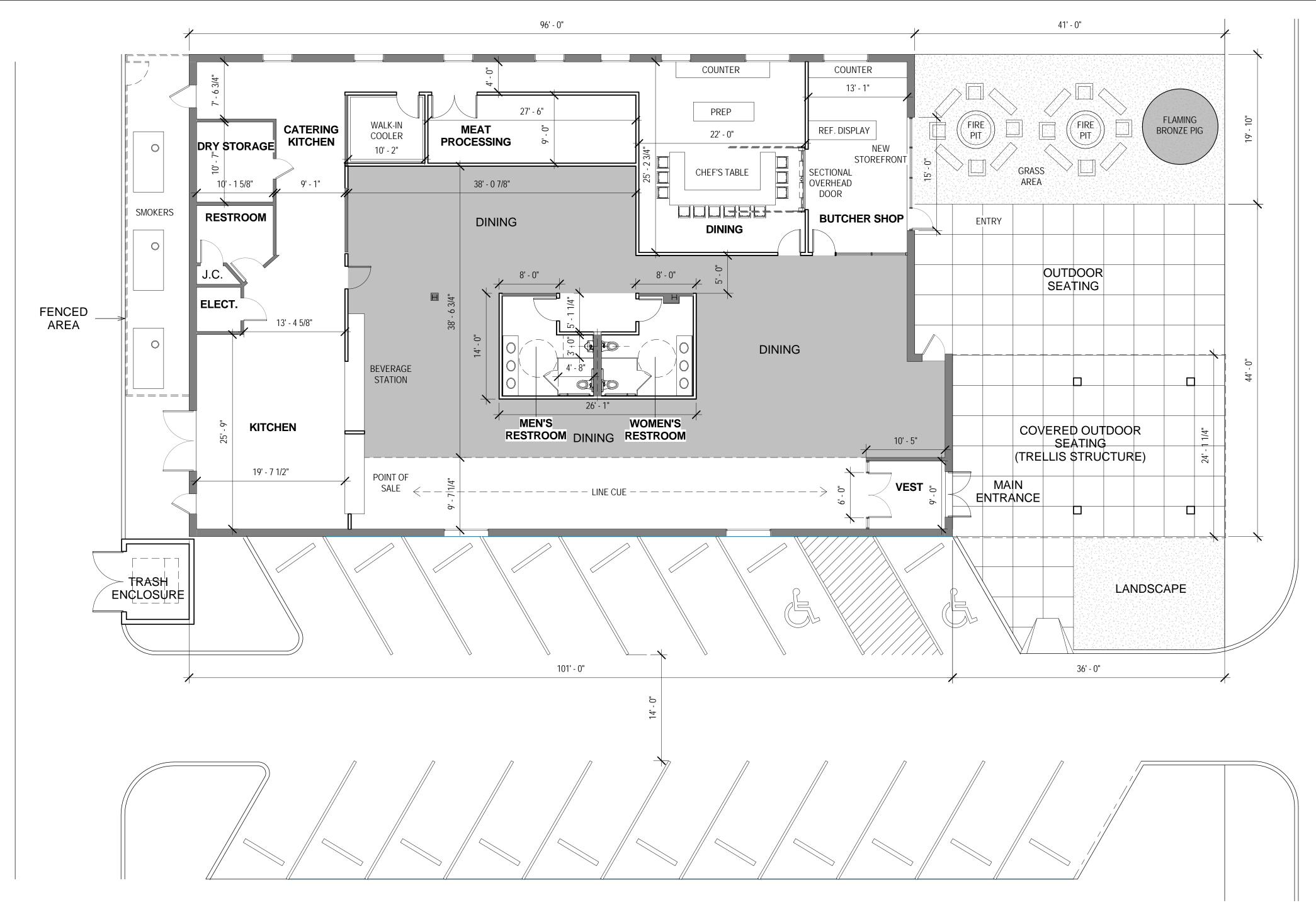
1. Any changes to the site plans that requires a variance should be brought before the FPSE Development Committee for review

Site Map



Property (Current Exterior)

















































805 S. Vandeventer Site Plan Approval and Special Use Permit

Site Address: 805 S. Vandeventer

Company Name: Noles Properties

Request: Site Plan Approval and Special Use Permit

Contact Person(s): Steve Noles & Christina Shuff

Mailing Address: 11361 Olive Boulevard, Creve Coeur, Missouri 63141 [1]

Company Owners / Principals: Steve Noles – Noles Properties; Developer under contract

Bill Barnes – NAI DESCO; Broker Representing Raising Cane's Chicken Fingers

Christopher Walker – Raising Cane's Chicken Fingers Real Estate Manager

Dave Mason – Mason & Associates; Current Property Owner

Project Information

History of Site:

The project at 805 S. Vandeventer to construct a Raising Canes Chicken Fingers Restaurant on the land owned by M& H Development came before the FPSE Development Committee on November 28, 2017. The Development Committee of Forest Park Southeast on November. After careful review, voted to approve the special use permit and site plan, with the following conditions:

- 1. Move the building footprint to the NE corner of the parcel, place it at a zero-lot-line along Vandeventer Avenue and reconfigure the drive-thru lane to the western side
- 2. Join the Grove CID and pay for related legal costs
- 3. Repave sidewalks along Vandeventer Avenue & Gratiot Street
- 4. Install street trees along Vandeventer Avenue & Gratiot Street
- 5. Install at least two bike racks on site
- 6. Install adequate lighting and cameras on site

805 S. Vandeventer Site Plan Approval and Special Use Permit

- 7. Use full brick on all sides of the building
- 8. Install storefront windows along Vandeventer Avenue
- 9. Provide direct access to pedestrians through an entrance along Vandeventer Avenue
- 10. Build the structure to the maximum, allowable height, according the billboard easement
- 11. Provide the updated site plan for review and consideration of support

There developer has addressed 10 of the 11 items requested by the committee for changes to the project including increasing the building height. The outstanding item for consideration is the moving of the building footprint to the NE corner of the parcel, place it at a zero-lot-line along Vandeventer Avenue and reconfigure the drive-thru lane to the western side. After speaking with the developer, they have not been able to make the requested change due to the life safety issue that the configuration presents and the liability to customers.

Proposed Project:

To construct a family owned free standing, all masonry and real stucco Raising Cane's Chicken Fingers restaurant that will serve as one of the few family friendly, affordable, cook to order quick service eating establishments in the area. This small site currently exists as a vacant under-utilized parking lot. Redeveloped, this site will generate a substantial amount of sales tax revenue along with providing 55+ above-minimum wage jobs for the community. Per the Forest Park Southeast Neighborhood Book, Page 21, we plan to "Improve perceptions of the area by reducing vacant buildings and sites throughout the area, by considering new uses and new projects."

Square footage of project:

2,913 sf proposed building on 31,558 sf lot

Current Zoning:

B2 Boulevard Type 2

805 S. Vandeventer Site Plan Approval and Special Use Permit

Project Costs:

Acquisition: \$ -

Pre-development Soft Cost: \$ -

Construction Cost: \$ -

Total: \$ 4,225,000

Project Timeline:

Site Control: Upon Issuance of Permit

Construction Start: 30 Days Following Issuance of Permit

Construction Complete: 130 Days Following Issuance of Permit

Occupancy: 130 Days Following Issuance of Permit

Building Materials:

Raising Cane's uses full size brick (not veneer), real stucco (not dryvit), metal awnings and full masonry and metal door dumpster enclosures as examples. Additionally, Raising Cane's is proposing extensive landscaping.

Will the project seek financial incentives from the City of St. Louis?

No incentives will be requested for this project.

Parking:

33 parking spaces are proposed. The majority of the parking spaces will be hidden behind the building which is positioned to run along Vandeventer Ave. The parking spaces with a line of sight from Vandeventer and Gratiot will be shielded by landscaping that will run along Vandeventer Ave. and Gratiot St.

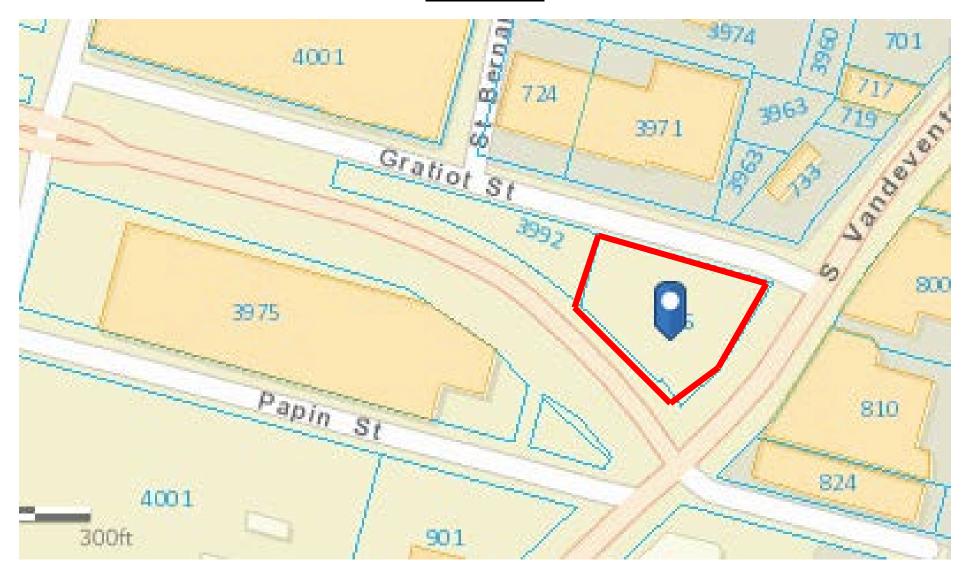
Relevant Experience

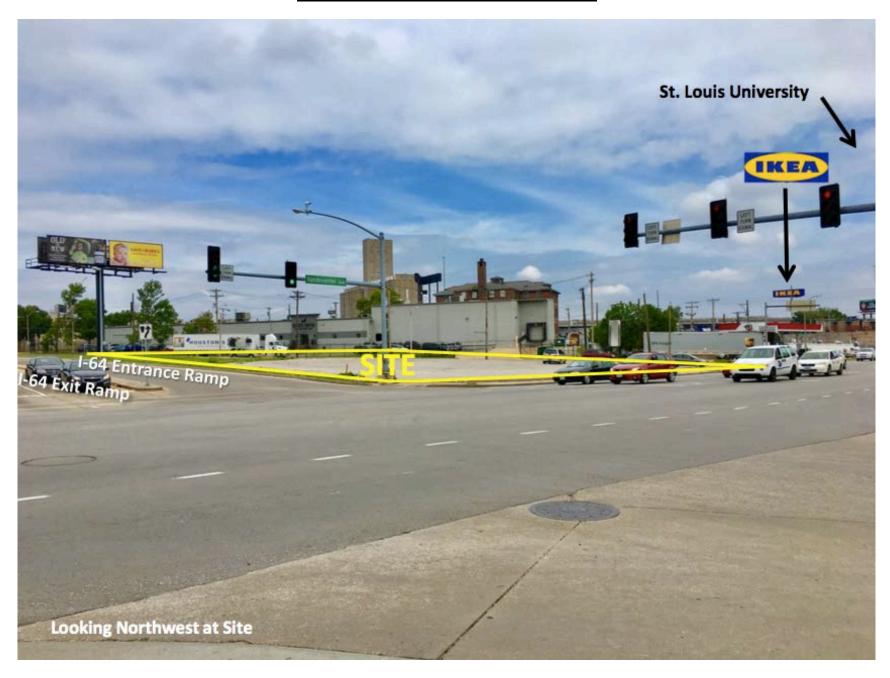
Noles Properties has developed over 500,000 sf of retail product in the St. Louis Market for a variety of National Tenants including QuikTrip, Walgreens, Waffle House & McAllister's. Bill Barnes of NAI DESCO has 15 years of commercial real estate brokerage experience and has been involved in over 325 transactions totaling more than \$130,000,000 in volume. Bill has been responsible for the market roll out of several national tenants including Raising Cane's Chicken Fingers, Verizon Wireless, Craft Beer Cellar and I Love Juice Bar to name a few. The development team at Raising Cane's has a combined development experience of over 100 years with major national and international brands that include, Home Depot, Chase, TGI Fridays, Chili's, Macaroni Grill, to name a few.

Park Central Recommendation

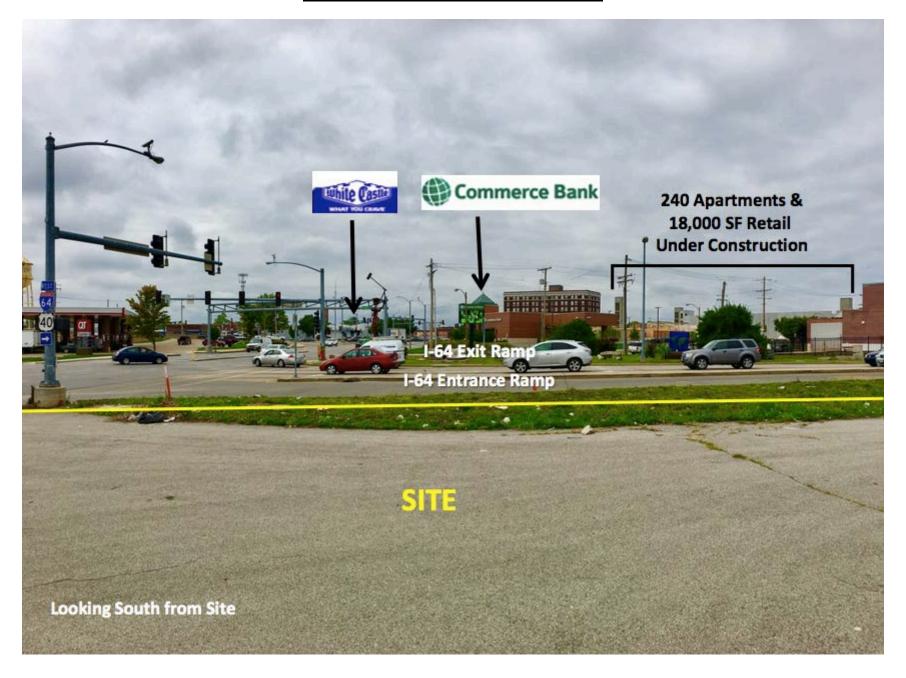
Park Central recommends that the committee consider support of the project due to the life safety issue presented by repositioning the drive thru and building for this project.

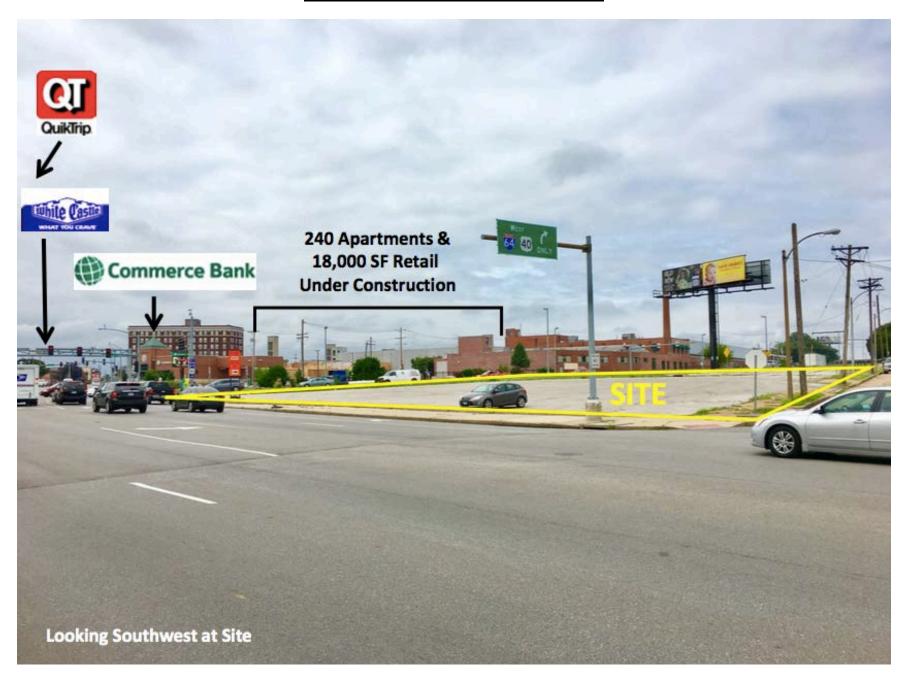
Property Location



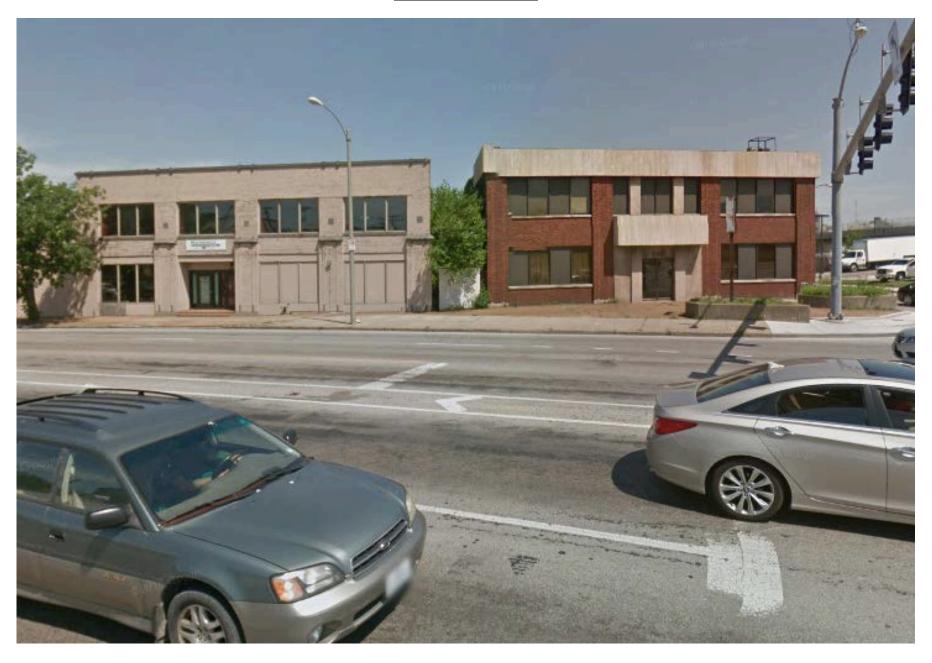








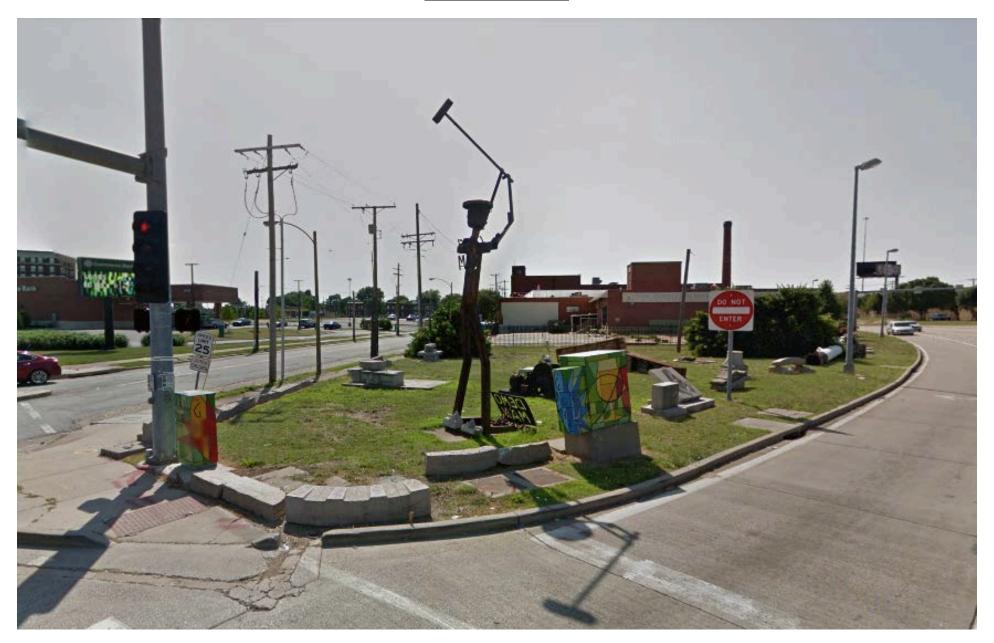
Properties to the East



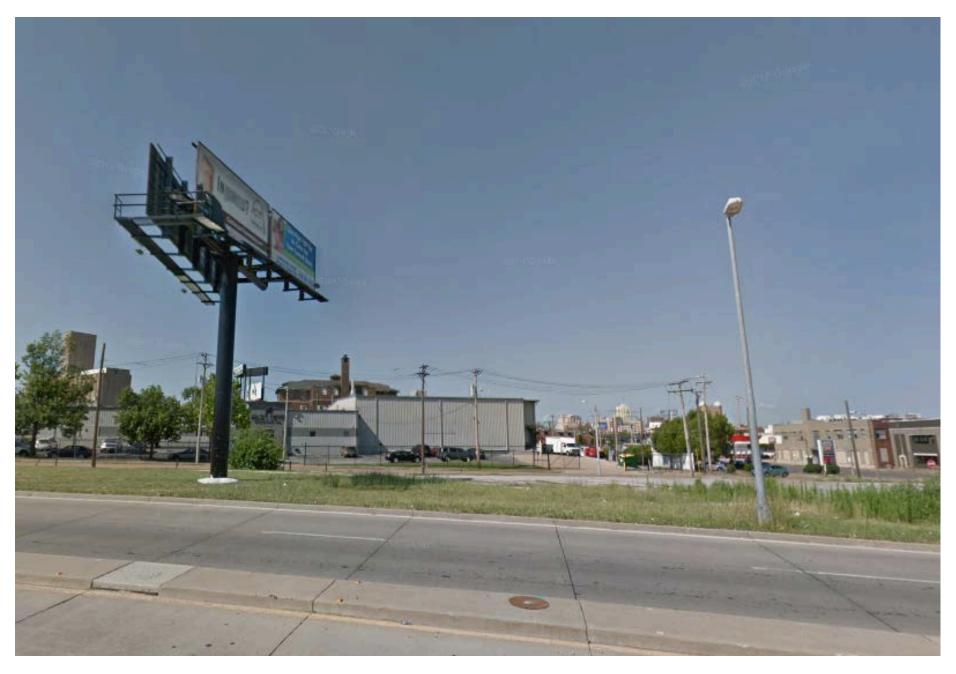
Property to the North



Property to the South



Property to the West





FRONT ELEVATION
3/16" = 1'-0"

REAR ELEVATION
3/16" = 1'.0"



3 DRIVE - THRU ELEVATION_RENDERED



MATERIAL KEY

BELDEN BRICK: 12" ROMAN BRICK MEDIUM RANGE SHADOW TEX.

BELDEN BRICK: CAPITAL IRON SPOT SMOOTH, BLACK

3

METAL PANEL

BELDEN BRICK: 12" ROMAN BRICK DARK RANGE SMOOTH.

HOT ROLLED STEEL (5)

TRANSPARENT GLAZING

6

NICHIHA CEDAR WOOD LOOK,

7 CEMENT BOARD SIDING

MORIN CORP. "ZINC GREY" AA-12-0 METAL SIDING



Raising Cane's Restaurant 372 St. Louis Prototype 4 E.R.D. (Lite) 3.3 Custom

6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Telephone: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Set Control Information: Initial Setup Date:

Professional of Record:

5/18/18

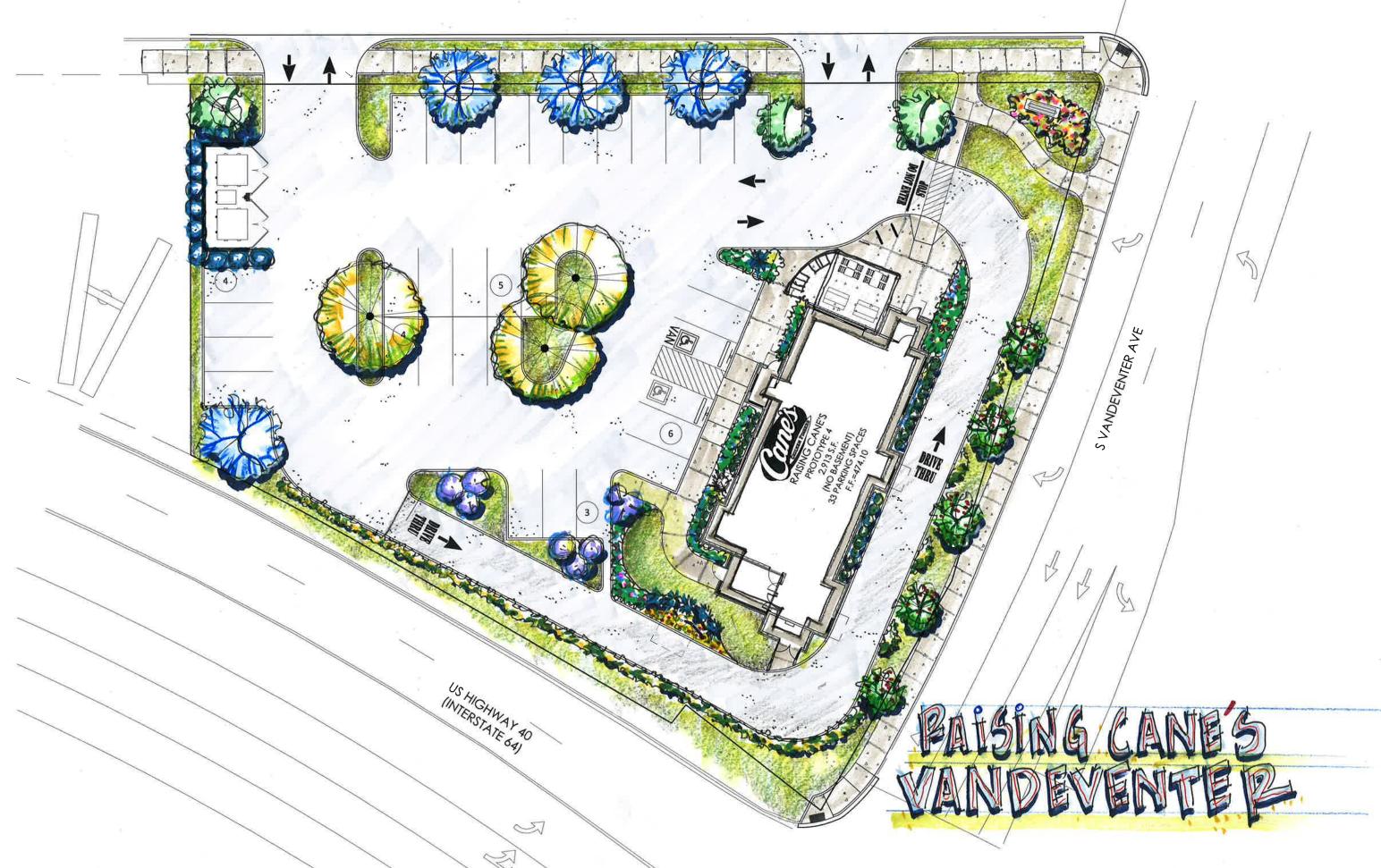
Sheet Revisions: (sheet specific per Designer

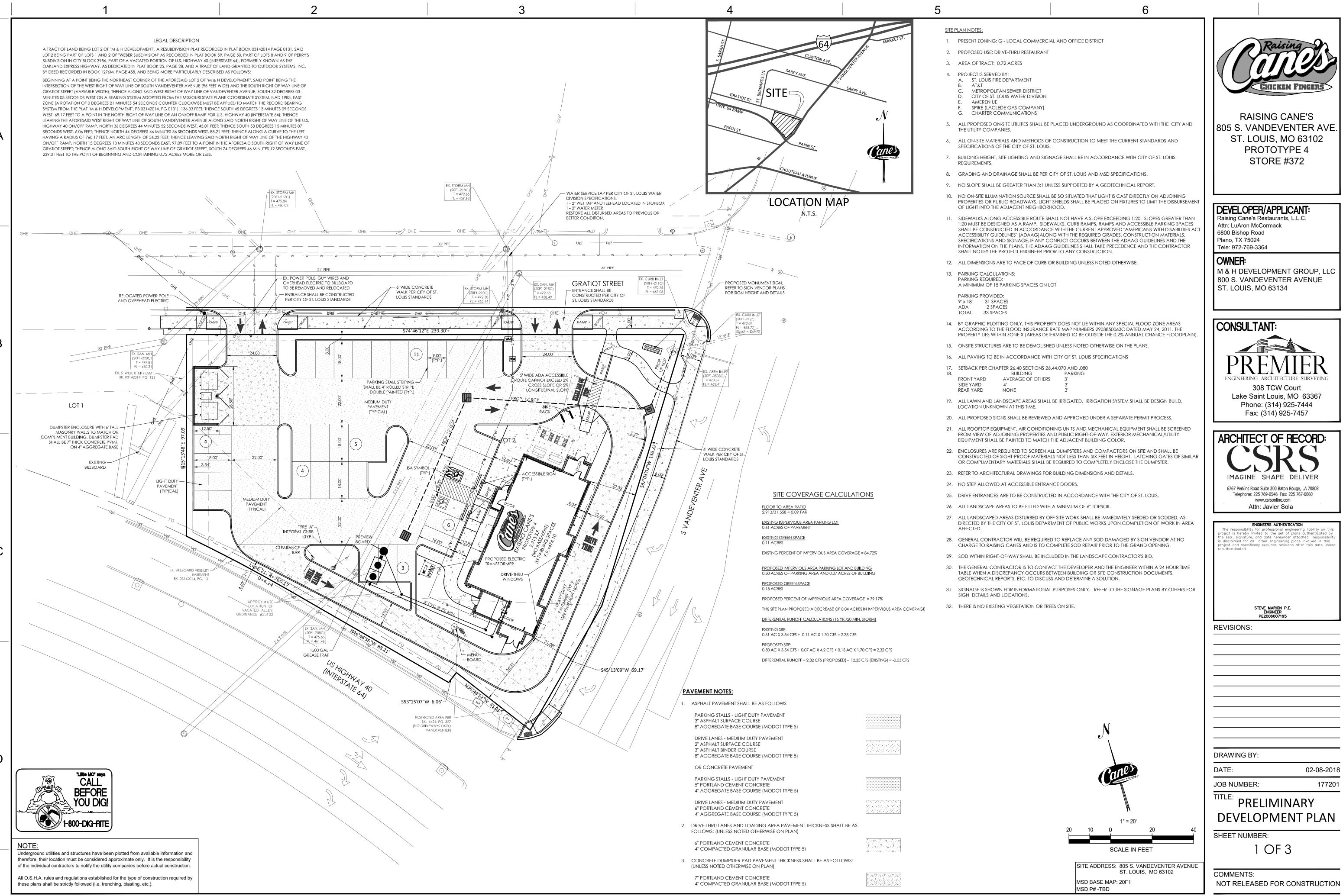
EXTERIOR ELEVATIONS

000.00.00000 Drawn By:

A4.0

SIDE ENTRY ELEVATION
3/16" = 1'-0"







RAISING CANE'S 805 S. VANDEVENTER AVE ST. LOUIS, MO 63102 PROTOTYPE 4 **STORE #372**

DEVELOPER/APPLICANT

Raising Cane's Restaurants, L.L.C. Attn: LuAron McCormack 6800 Bishop Road Plano, TX 75024 Tele: 972-769-3364

lacktriangle M & H DEVELOPMENT GROUP, LLC 800 S. VANDEVENTER AVENUE ST. LOUIS, MO 63134



IMAGINE SHAPE DELIVER 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Telephone: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com Attn: Javier Sola

ject is hereby limited to the set of plans authenticated by seal, signature, and date hereunder attached. Responsibilit disclaimed for all other engineering plans involved in this ject and specifically excludes revisions after this date unle

•	

PRAWING BY:	
)ATF·	

02-08-2018 JOB NUMBER:

PRELIMINARY DEVELOPMENT PLAN

SHEET NUMBER:

1 OF 3

COMMENTS:

4223 Gibson Ave:

Site Address: 4223 Gibson Ave.

Request: Request for a Community Support Letter for this project

Company Name: Botanical Heights Homes, LLC (AKA UIC)

Contact Person(s): Brett McMahon – bmcmahon@uicstl.com

Mailing Address: 1607 Tower Grove Ave, St Louis, MO, 63110

Company Owners / Principals: Brent Crittenden and Sarah Gibson

Project Information

History of site

The building that once existed on the site was demolished in the late 1980's. For roughly 30 years, the lot has been vacant. Currently, the City of St. Louis is the owner, and the applicant is in the process of purchasing the lot from the City of St. Louis.

Proposed Project

The proposed project will be developing a vacant residential lot at 4223 Gibson. The lot is currently owned by the City of St. Louis and the applicant is in the process of purchasing it though an existing sales agreement. The lot is roughly 3,325 SF and a 1,914 SF 2-story house will be constructed on it. The new home will be 3 bed/2.5 bath and will have a 2-car garage for the residents, access from the alley. UIC has previously constructed 4 new homes and 4 rehabilitated town homes on the block and this will be the final construction by UIC on this truncated block of Gibson Avenue.

Parking

There will be a two (2) Car garage accessible from the alley.

Current Zoning

Neighborhood General Type 2 (NG2)

Project Costs:

Acquisition: \$3,500
Pre-development Soft Cost: \$30,000
Construction Cost: \$314,060
Total: \$347,500

Project Timeline:

Site Control: Currently waiting sale to close from the City

Construction Start: 6/4/2018 Construction Complete: 10/26/18 Occupancy: 10/26/18

Relevant Experience

The developer has over 10 years of home building and real estate development experience and have constructed over 50 homes in the surrounding area.

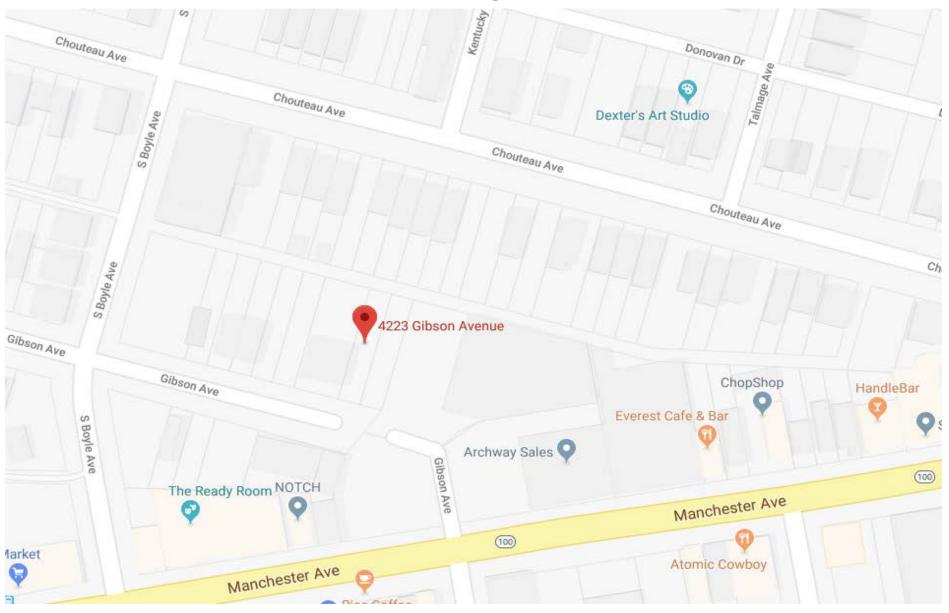
Will the project seek financial incentives from the City of St. Louis? The project will be asking the City of St. Louis for a 100% tax abatement for 5 Years for this single-family home.

Park Central Recommendation

Park Central Development recommends support of the project with the following conditions:

1. Any changes to the site plans that requires a variance should be brought before the FPSE Development Committee for review

Site Map



Property (Current Exterior)



4223 Gibson Aerial View



THE WORK. CHANGES TO THIS WORK ARE ONLY AUTHORIZED IF IN WRITING FROM THE ARCHITECT THIS JOB IS CONSIDERED "DESIGN/ BUILD" FOR MECHANICAL ELECTRICAL, PLUMBING, WORKS, DESIGN / BUILD CONTRACTORS TO PREPARE AND SUBMIT SEPARATE MEP PERMIT DRAWING PER LOCAL CODE BEFORE COMMENCING WORK THE DIMENSIONS ON THESE DRAWINGS SUPERCEDE SCALE.

CONTRACTOR IS NOT TO SCALE THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. ALL ARCHITECTURAL DRAWINGS ARE IN CONFIDENCE AND DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHTS AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED IF THE CONTRACTOR DOES NOT UNDERSTAND THE PLANS, HE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION PRIOR TO BIDDING THE CONTRACTOR SHALL BE HELD RIGIDLY TO INTERPRETATIONS OF THE ARCHITECT

GRADING NOTES:

FINISH GRADES AT BUILDING TO BE MINIMUM 8" BELOW TOP OF FOUNDATION AT FRAME OR BRICK VENEER WALLS SLOPE GRADE MINIMUM 1" PER FOOT FOR A DISTANCE OF 8'-0" OR TO SWALE. ALL AREAS TO BE SLOPED TO LOWER ELEVATIONS.

CONCRETE NOTES:

GENERAL CONTRACTOR TO CONFIRM SOIL BEARING CAPACITY OF 1500 MINIMUM COMPERSSIVE STRENGTH OF CONCRETE (@28 DAYS) SHALL

3000 PSI - FOUNDATION WALLS AND SLABS 3500 PSI - PORCHES, WALKS, PATIOS, STEPS, AND ALL CONCRETE SHALL BE 5-1/2 SACK MIX MINIMUM PER CUBIC YARD OF

CONCRETE ALL REINFORCING SHALL BE GRADE 60. HOOK AT ALL WALL INTERSECTIONS BEND AROUND ALL CORNERS AND LAP 12" MINIMUM, MINIMUM (2) # 5 BARS AROUND WINDOW AND DOOR OPENINGS. EXTEND BARS 24" BEYOND PROVIDE 6 MIL. POLY VAPOR BARRIER UNDER HABITABLE AREAS ALL CONCRETE FOOTINGS AND PIERS, ETC. TO PROJECT MINIMUM 24" INTO SOLID SOIL, MINIMUM 30" BELOW GRADE

MASONRY NOTES

SOURCE LIMITATIONS FOR MASONRY UNITS: OBTAIN EXPOSED ASONRY UNITS OF A UNIFORM TEXTURE AND COLOR, OR A UNIFORM BLEND WITHIN THE ACCEPTED RANGES, THROUGH ONE SOURCE FROM A SINGLE MANUFACTURER FOR EACH PRODUCT REQUIRED. SOURCE LIMITATIONS FOR MORTAR MATERIALS: OBTAIN MORTAR INGREDIENTS OF A UNIFORM QUALITY, INCLUDING COLOR FOR EXPOSED MASONRY, FROM A SINGLE MANUFACTURER FOR EACH CEMENTITIOUS COMPONENT AND FROM ONE SOURCE OR PRODUCER FOR EACH AGGREGATE BUILD SAMPLE PANELS TO VERIFY SELECTIONS MADE UNDER SAMPLI SUBMITTALS AND TO DEMONSTRATE AESTHETIC EFFECTS. APPROVAL OF SAMPLE PANEL IS FOR COLOR, TEXTURE, AND BLENDING OF MASONRY UNITS: TOOLING OF JOINTS: AESTHETIC QUALITIES OF WORKMANSHIP.

STORE ALL MATERIALS IN A DRY LOCATION. ALL WORK TO BE PERFORMED UNDER TYPICAL INDUSTRY STANDARDS SELECT AND ARRANGE UNITS FOR EXPOSED UNIT MASONRY TO PRODUCE A UNIFORM BLEND OF COLORS AND TEXTURES. MIX UNITS FROM SEVERAL PALLETS OR CUBES AS THEY ARE PLACED. PROVIDE LINTELS AS REQUIRED. COORDINATE WITH STRUCTURAL. NSTALL LINTELS WHERE OPENING EXCEEDS 8". PROVIDE MINIMUM BEARING OF 8" AT EACH JAMB UNLESS OTHERWISE INDICATED. TOOL EXPOSED JOINTS SLIGHTING CONCAVE WHEN THUMBPRINT HARD, USING A JOINTER LARGER THAN JOINT THICKNESS, UNLESS OTHERWISE INSTALL EMBEDDED FLASHING AND WEEP HOLES IN MASONRY AT SHELF ANGLES, LINTELS, LEDGES, OTHER OBSTRUCTIONS TO DOWNWARD FLOW OF WATER IN WALL AND WHERE INDICATED IN DETAILS. INSTALL WEEP HOLES IN HEAD JOINTS IN EXTERIOR WYTHES OF FIRST

USE OPEN HEAD JOINTS TO FORM WEEP HOLES SPACE WEEP HOLES 24" O.C. UNLESS OTHERWISE INDICATED PROVIDE AND INSTALL MASONRY TIES PER INDUSTRY STANDARDS AND SPACED AT 32" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. REMOVE AND REPLACE MASONRY UNITS THAT ARE LOOSE, CHIPPED, BROKEN, STAINED OR OTHERWISE DAMAGED OR THAT DO NOT MATCH AD JACENT UNITS. INSTALL IN FRESH MORTAR AND POINT TO ELIMINATE EVIDENCE OF REPLACEMENT

COURSE OF MASONRY IMMEDIATELY ABOVE EMBEDDED FLASHING AND AS

AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN EXPOSED MASONRY COMPLETELY

FRAMING NOTES:

ALL LUMBER FRAMING MUST BE NAILED INTO PLACE ACCORDING TO TABLE (R) 602.3 OF THE 2009 IRC BUILDING CODE. PLYWOOD SIDING ROOF SHEATHING AND SUB-FLOORING SHALL ALSO BE NAILED IN ACCORDANCE WITH THIS SCHEDULE. ALL WINDOW AND DOOR HEADERS TO BE MINIMUM TWO-2X10'S UNLESS NOTED OTHERWISE. ALL HEADERS TO BE GLUED AND NAILED OTHERWISE, ALL EXTERIOR WALLS TO BE 6" WOOD STUDS. ALL STUDS IN BEARING WALLS AND ALL STUDS USED AS POSTS TO BE SOUTHERN PINE WITH MAXIMUM 19% MOISTURE CONTENT

DOUBLE TOP PLATES AT ALL BEARING WALLS. ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS "MANUAL FOR HOUSE FRAMING JOISTS AND RAFTERS TO BE SOUTHERN PINE KD 15 #2 UNLESS NOTED OTHERWISE. ALL LUMBER SHALL BE MINIMUM FB=1300/1500 (SINGLE MEMBER) AND GRADE MARKE

ALL JOISTS TO BE PLACED WITH THE CROWN UP. SUB FLOORS TO BE GLUED AND NAILED TO THE JOISTS FIRESTOPPED AT TOP AND BOTTOM FIRE STOP WALLS AT DROPPED SOFFITS AND DROPPED CEILINGS. PROVIDE FIRE BLOCKING BETWEEN STAIR CARRIAGES/STRINGERS AT TOP AND BOTTOM OF EACH STAIR RUN. PROVIDE FIRE BLOCKING AT TOP AND BOTTOM OF WALL FURRIN ALL BEARING POSTS SHALL BE BLOCKED SOLID TO TOP OF STRUCTURE

ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC. O BE APPROVED EXTERIOR GRADE MATERIALS. ALL LUMBER IN CONTACT WITH DISSIMILAR MATERIALS SUCH AS CONCRETE AND MASONRY, TO BE PRESSURE TREATED ALL FIRE-RATED ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE PROVIDE BRIDGING BETWEEN FLOOR JOISTS AT 8'-0" O.C. (MAX.). PROVIDE MINIMUM 2 ROWS BETWEEN JOISTS AT ALL SPANS OF 16'-0" OR

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. PROVIDE BRIDGING/BLOCKING BETWEEN TRUSSES AT TOP OF

ALL TRUSSES TO BE DESIGNED BY OTHERS. STRESS DIAGRAMS MUST BE PROVIDED BY SUPPLIER AND MUST HAVE AN ENGINEER'S SEAL. ATTIC TRUSSES WITH A 42" HIGH CLEAR SPACE SHALL BE DESIGNED FOR A 20# LIVE LOAD. PROVIDE 40 SQUARE INCH SIGN ON TRUSS AT EACH SIDE OF ATTIC HATCH OPENING READING "WARNING--TRUSSES NOT DESIGNED FOR ATTIC STORAGE. STAIRS SHALL BE DESIGNED FOR A 100 PSI LIVE LOAD OR 300 LB CONCENTRATED ON 4 SQUARE INCHES AT MIDSPAN OF TREAD. WOOD STAIR CARRIAGE/STRINGERS SHALL BE DOUGLAS FIR #1 WITH A MINIMUM ALLOWABLE STRESS OF (FB) OF 1000 PSI. FY = 85 PSI. E = 1.600.000PSI UNLESS OTHERWISE NOTED. 2X TREADS TO BE TEMPERARY. FINISHED TREADS TO BE FINISHED HARDWOOD 5/4 OAK UNLESS NOTED OTHERWISE. PROVIDE 4' PLYWOOD OR METAL STRAP BRACING AT CORNERS

FIELD CUTTING OF WOOD BEAMS OR TRUSSES SHALL NOT BE PERMITTED UNLESS APPROVED BY ARCHITECT, NOTCHING, BORING HOLES AND UTTING OF WOOD BEAMS, JOISTS, RAFTERS OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN SECTIONS 602.6 THROUGH 602.7 OF IRC. REINFORCEMEN OF STUDS SHALL BE DONE IN ACCORDANCE WITH SECTION 602.3. ALL DROPPED CEILING BELOW WOOD JOISTS OR ATTATCHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 500 SF INTERVALS AND PARALLEL TO FRAMING MEMBERS. ALL ENGINEERED LUMBER TO BE MANUFACTURED BY WEYERHAUSER OR EQUIVALENT

MOISTURE PROTECTION NOTES:

EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES. BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, A PENETRATION FOR UTILITY SERVICES THROUGH WALLS, FLOORS, ROOFS AND ALL THER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER. CORROSION RESISTANT FLASHING REQUIRED AT THE TOP AND SIDES OF ALL EXTERIOR DOORS AND WINDOWS AND AT THE INTERSECTION OF ALL

PROVIDE COMPOSITION FLASHING WITH INTERLACED SHINGLES AT ALL ROOF TO ROOF INTERSECTIONS. ALL GUTTERS AND DOWN SPOUTS TO BE SIZED PER SMACNA REQUIREMENTS AND LOCATED BY OTHERS. SIZE ALL PER SMACNA REQUIREMENTS. PROVIDE CONCRETE SPLASH BLOCK AT THE BOTTOM OF ALL DOWN SPOUTS DISCHARGED AT GRADE. DISCHARGE TO STORM SEWER OR

APPROVED WATERCOURSE. PROVIDE BITUMINOUS DAMP PROOFING, 3 POUNDS PER SQUARE YARD OF ACRYLIC MODIFIED CEMENT IN ACCORDANCE WITH IRC 2003 ON ALL CONCRETE FOUNDATION WALLS BELOW GRADE. BACKFILL SHALL BE FREE OF DEBRIS AND LARGE ROCKS, INSTALLED IN INSTALL ALL WATERPROOFINGS AND UNDERSLAB VAPOR BARRIERS

PROTECT AND STORE INSULATION MATERIALS TO PROTEC ROM PHYSICAL DAMAGE AND FROM DETERIORATION BY MOISTURE DRY LOCATION. COMPLY WITH MANUFACTURER'S WRITTEN

SOILING, SUNLIGHT AND OTHER SOURCES. STORE INSIDE AND IN A INSTRUCTIONS FOR HANDLING, STORING AND PROTECTING DURING INSTALLATION. CLEAN SUBSTRATES OF SUBSTANCES HARMFUL TO ISULATION OR VAPOR RETARDERS, INCLUDING REMOVING PROJECTIONS CAPABLE OF PUNCTURING VAPOR RETARDERS OF NTERFERING WITH INSULATION ATTACHMENT. EXTEND INSULATION IN THICKNESS INDICATED TO ENVELOP

NTIRE AREA TO BE INSULATED. CUT AND FIT TIGHTLY AROUND OBSTRUCTIONS AND FILL VOIDS WITH INSULATION. COORDINATE WATER PIPING LOCATED WITHIN INSULATED EXTERIOR WALLS TO ENSURE THAT IT IS PLACED ON WARM SIDE OF NSULATION AND INSULATION ENCAPSULATES PIPING. SEAL JOINTS BETWEEN FOAM-PLASTIC INSULATION UNITS TO FORM A TIGHT SEAL AS UNITS ARE SHOVED INTO PLACE. FILL OIDS IN COMPLETED INSTALLATION WITH ADHESIVE, MASTIC OR SEALANT AS RECOMMENDED BY INSULATION MANUFACTURER PROTECT INSTALLED INSULATION FROM DAMAGE DUE TO WEATHER EXPOSURES. PHYSICAL ABUSE AND OTHER CAUSES. INSULATION IS SUBJECT TO ABUSE AND CANNOT BE CONCEALED AND PROTECTED BY PERMANENT CONSTRUCTION IMMEDIATELY AFTER

INSTALLATION. AIR AND MOISTURE BARRIER: 9.1. AIR BARRIER SHALL BE CAPABLE OF PERFORMING AS A CONTINUOUS VAPOR-PERMEABLE AIR BARRIER AND AS A LIQUID-WATER DRAINAGE PLANE FLASHED TO DISCHARGE TO THE EXTERIOR NCIDENTAL CONDENSATION OF WATER PENETRATION. AIR BARRIER ASSEMBLIES SHALL BE CAPABLE OF ACCOMMODATING SUBSTRATE MOVEMENT AND OF SEALING SUBSTRATE EXPANSION AND CONTROL JOINTS, CONSTRUCTION MATERIAL CHANGES AND TRANSITIONS AT RIMETER CONDITIONS WITHOUT DETERIORATION AND AIR LEAKAGE EXCEEDING SPECIFIED LIMITS.

DELIVER, STORE AND HANDLE ALL PRODUCTS PER MANUFACTURER'S WRITTEN REQUIREMENTS. INSTALL AIR BARRIER WITHIN RANGE OF AMBIENT AND SUBSTRATE TEMPERATURES RECOMMENDED BY MANUFACTURER AFFECT PERFORMANCE OF AIR BARRIER. DO NOT APPLY AIR BARRIEF TO A DAMP OR WET SUBSTRATE DURING SNOW, RAIN, FOG OR MIST PROVIDE ALL ACCESSORY MATERIALS AS REQUIRED TO NSTALL A COMPLETE AIR BARRIER SYSTEM. EXAMINE SUBSTRATES AREAS AND CONDITIONS FOR OMPLIANCE WITH REQUIREMENTS AND OTHER CONDITIONS AFFECTING PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PREPARE SUBSTRATE AS REQUIRED PER MANUFACTURER'S

INSTALL ALL NECESSARY TRANSITIONS AND AUXILIARY MATERIALS ACCORDING TO MANUFACTURER'S WRITTEN REQUIREMENTS TO FORM A SEAL WITH ADJACENT CONSTRUCTION AND MAINTAIN A CONTINUOUS AIR BARRIER. CONNECT EXTERIOR AIR BARRIER MEMBRANI BELOW-GRADE-STRUCTURES FLOOR TO FLOOR CONSTRUCTION EXTERIOR GLAZING AND WINDOW SYSTEMS, GLAZED STOREFRON SYSTEMS EXTERIOR DOOR FRAMING AND OTHER CONSTRUCTION ISED IN EXTERIOR WALL OPENINGS USING ACCESSORY MATERIALS. INSTALL AIR BARRIER FOR CONTINUOUS AIR BARRIER YSTEM ACCORDING TO MANUFACTURER'S WRITTEN REQUIREMENTS CORRECT DEFICIENCIES IN OR REMOVE AIR BARRIER THA DOES NOT COMPLY WITH REQUIREMENTS. REPAIR SUBSTRATES AND REINSTALL AIR BARRIER COMPONENTS. PROTECT AIR BARRIER SYSTEM FROM DAMAGE DURING

INSTALLATION AND THROUGH THE REMAINDER OF THE CONSTRUCTION RIOD, ACCORDING TO MANUFACTURER'S WRITTEN REQUIREMENTS. JOINT SEALANTS PROVIDE ELASTOMERIC JOINT SEALANTS THAT ESTABLISH AND MAINTAIN WATERTIGHT AND AIRTIGHT CONTINUOUS JOINT SEALS VITHOUT STAINING OR DETERIORATING ADJACENT MATERIALS OR JOINT SUBSTRATES OR WITHOUT EXPERIENCING ADHESIVE OR OHESIVE FAILURES, CRACKING OR BUBBLING. INSTALL ALL JOINT SEALANTS PER MANUFACTURER'S WRITTEN REQUIREMENTS ACOUSTICAL SEALANT REFERRED TO WITHIN THE DRAWINGS TO BE 'USG ACOUSTICAL SEALANT' OR APPROVED EQUAI THE CONTRACTOR IS RESPONSIBLE FOR FIRESTOPPING AT ALL WALLS, FLOORS, CEILINGS AND RAISED AREAS AT FIRE-BY LOCAL CODES. FOR FIRESTOPPING AT AREAS EXPOSED TO VIEW RAFFIC, MOISTURE AND PHYSICAL DAMAGE, PROVIDE PRODUCTS THAT AFTER CURING DO NOT DETERIORATE WHEN EXPOSED TO THESE CONDITIONS BOTH DURING AND AFTER CONSTRUCTION.

COUSTIC WALLS, CEILINGS AND FLOORS ARE MINIMAL; CAULK AND SEAL ALL AIR GAPS. SEAL ALL PENETRATIONS THROUGH FLOORS, CEILINGS AND PARTITIONS. COORDINATE RATED ASSEMBLIES WITH DRAWINGS. BASIS OF DESIGN PRODUCT TO BE 'JAMES HARDIE' CEMENT

THE CONTRACTOR IS RESPONSIBLE THAT PENETRATIONS IN

SIDING, WALL PANELS AND SOFFIT PANELS MADE FROM FIBER CEMENT BOARD THAT DOES NOT CONTAIN ASBESTOS FIBERS; COMPLIES WITH ASTMIC1186 TYPE A GRADE II: IS CLASSIFIED AS ONCOMBUSTIBLE WHEN TESTED AND HAS A FLAME SPREAD INDEX OF 25 OR LESS WHEN TESTED OBTAIN EACH TYPE OF SIDING, WALL PANELS AND SOFFIT MATERIAL, INCLUDING ALL ACCESSORIES, THROUGH ONE SOURCE FROM A SINGLE MANUFACTURER.

DELIVER, STORE AND HANDLE ALL PRODUCTS PER MANUFACTURER'S WRITTEN REQUIREMENTS WEATHER LIMITATIONS: PROCEED WITH SIDING NSTALLATION ONLY IF SUBSTRATE IS COMPLETELY DRY AND IF EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT SIDING TO BE INSTALLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

SEQUENCING: COORDINATE INSTALLATION WITH FLASHINGS AND OTHER ADJOINING CONSTRUCTION TO ENSURE PROPER SEQUENCING. PROVIDE STARTER STRIPS, EDGE TRIM, CORNER TRIM AND OTHER ITEMS RECOMMENDED BY MANUFACTURER OR INDICATED IN THE DRAWINGS FOR THE BUILDING CONFIGURATION. PROVIDE METAL FLASHING AT DOOR AND WINDOW HEADS AND WHERE INDICATED. FLASHING TO BE FINISHED TO MATCH ADJACENT SIDING. 11.9. FASTENERS AS PER MANUFACTURER'S REQUIREMENTS 11.10. EXAMINE SUBSTRATES FOR COMPLIANCE WITH

REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER IDITIONS AFFECTING PERFORMANCE OF SIDING. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

11.11. CLEAN SUBSTRATES OF PROJECTIONS AND SUBSTANCES DETRIMENTAL TO APPLICATION. INSTALL ALL MATERIALS PER MANUFACTURER'S WRITTEN

REQUIREMENTS.
11.13. AT SOFFIT PANELS, BONDO / FINISH ALL JOINTS AND ANCHORS FOR SMOOTH MONOLITHIC APPEARANCE PRIOR TO PAINT 11.14. REMOVE DAMAGED, IMPROPERLY INSTALLED OR OTHERWISE DEFECTIVE SIDING PANELS AND SOFFIT MATERIALS AND REPLACE WITH NEW MATERIALS COMPLYING WITH SPECIFIED

REQUIREMENTS. CLEAN FINISHED SURFACES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND MAINTAIN IN A CLEAN CONDITION DURING CONSTRUCTION. FIBER CEMENT SIDING AND PANEL ACCESSORIES QUALITY ASSURANCE: 12.1.1. ALLOWABLE TOLERANCES IN HORIZONTAL

PLANES - VARIATION FROM LEVEL +1 /8" IN 10'. ALLOWABLE TOLERANCES IN FRAMED VERTICAL 12.1.2.1. POSITION: +1/4" MAXIMUM VARIATION FROM DESIGN POSITION.
12.1.2.2. ALIGNMENT: 1 /8" IN 8'; 1 /4" MAXIMUM IN ANY CONTINUOUS WALL, LINE OR SURFACE. DELIVERY, STORAGE AND HANDLING PER MANUFACTURER'S

WRITTEN REQUIREMENTS. STACK ACCESSORIES OFF OF FLOOR ON PALLETS OR SIMILAR PLATFORMS PROVIDING CONTINUOUS SUPPORT OR ACCESSORIES TO PREVENT SAGGING. STACK ACCESSORIES SC THAT LONG LENGTHS ARE NOT OVER SHORT LENGTHS. HANDLES MATERIALS TO PREVENT DAMAGE TO SURFACES, EDGES AND END OF ALUMINUM TRIMS. REJECT AND REMOVE DAMAGED MATERIAL FROM PRODUCTS: XTREME TRIM ACCESSORIES AS INDICATED FINISH: AS INDICATED WITHIN DRAWINGS. WHERE

INDICATED TO BE PAINTED, PROVIDE PROPRIETARY COATING DESIGNED TO PROTECT AGAINST WEATHER CONDITIONS AND ALLOW PROFILES: AS INDICATED WITHIN THE DRAWINGS AND AS REQUIRED TO PROVIDE A COMPLETE SIDING AND PANEL INSTALLATION, INCLUDING STARTER STRIPS, WINDOW FLASHINGS, ETC. INSTALL ALL ACCESSORIES PER MANUFACTURER'S WRITTEN INSTRUCTIONS. PROTECT ACCESSORIES FROM DAMAGE UNTIL DATE OF

SUBSTANTIAL COMPLETION. REPLACE ACCESSORIES WHICH BECOME TPO ROOFING SYSTEM TPO ROOF SYSTEM REFERENCED WITHIN THE DRAWINGS REFERS TO THE SPECIFIED FULLY ADHERED MEMBRANE ROOFING PROVIDE INSTALLED ROOFING MEMBRANE AND BASE LASHINGS THAT REMAIN WATERTIGHT; DO NOT PERMIT THE PASSAGE OF WATER AND RESIST SPECIFIED UPLIFT PRESSURES. THERMALLY NDUCED MOVEMENT AND EXPOSURE TO WEATHER WITHOUT FAILURE.

PROVIDE ROOFING MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER UNDER CONDITIONS OF SERVICE AND APPLICATION REQUIRED. PROVIDE A MEMBRANE ROOFING SYSTEM THAT IS DENTICAL TO SYSTEMS THAT HAVE BEEN SUCCESSFULLY TESTED BY A QUALIFIED TESTING AND INSPECTING AGENCY TO RESIST UPLIFT PRESSURE CALCULATED ACCORDING TO ASCE 7. 13.5. INCLUDE IN SHOP DRAWINGS TAPERED INSULATION LOCATIONS ALONG WITH ROOF SLOPES. INSTALLER TO BE A QUALIFIED FIRM THAT IS APPROVED, AUTHORIZED OR LICENSED BY ROOFING SYSTEM MANUFACTURER TO

NSTALL MANUFACTURER'S PRODUCT AND THAT IS ELIGIBLE TO

RECEIVE MANUFACTURER'S WARRANTY.

OBTAIN COMPONENTS FOR MEMBRANE ROOFING SYSTEM FROM ROOFING MEMBRANE MANUFACTURER OR FROM SOURCE DELIVER, STORE, PROTECT AND HANDLE ALL MATERIALS PER THE MANUFACTURER'S WRITTEN REQUIREMENTS. PROCEED WITH INSTALLATION ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT ROOFING SYSTEM TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND 13.10. PROVIDE ALL AUXILIARY MATERIALS FOR COMPLETE ROOFING SYSTEM AS RECOMMENDED BY THE ROOFING SYSTEM MANUFACTURER FOR INTENDED USE AND COMPATIBLE WITH

GENERAL NOTES

MEMBRANE ROOFING. PROVIDE PREFORMED ROOF INSULATION BOARDS THAT OMPLY WITH REQUIREMENTS AND INDUSTRY STANDARDS, SELECTED FROM MANUFACTURER'S STANDARD SIZES AND OF THICKNESSES INDICATED. 13.12. PROVIDE ALL ROOF INSULATION ACCESSORIES RECOMMENDED BY INSULATION MANUFACTURER FOR INTENDED USE; AND COMPATIBLE WITH MEMBRANE ROOFING. PROVIDE WALKWAY PADS THAT ARE FACTORY FORMED NONPOROUS, HEAVY-DUTY, SOLID-RUBBER, SLIP-RESISTING WITH

SURFACE TEXTURE AND THAT ARE ACCEPTABLE TO MEMBRANE ROOFING SYSTEM MANUFACTURER. EXAMINE SUBSTRATES, AREAS AND CONDITIONS FOR COMPLIANCE WITH THE FOLLOWING REQUIREMENTS AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE ROOFING SYSTEM. 13.14.1. VERIFY THAT ROOF OPENINGS AND PENETRATIONS ARE IN PLACE AND SET AND BRACKED AND THAT ROOF DRAINS ARE SECURELY CLAMPED IN PLACE. VERIFY THAT WOOD BLOCKING, CURBS AND NAILERS ARE SECURELY ANCHORED TO ROOF DECK AT PENETRATIONS AND TERMINATIONS AND THAT NAILERS

MATCH THICKNESS OF INSULATION.

CLEAN SUBSTRATE OF DUST, DEBRIS, MOISTURE AND OTHER SUBSTANCES DETRIMENTAL TO ROOFING INSTALLATION ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS. REMOVE SHARP PROJECTIONS. COMPLETE TERMINATIONS AND BASE FLASHINGS AND PROVIDE TEMPORARY SEALS TO PREVENT WATER FROM ENTERING COMPLETED SECTIONS OF ROOFING SYSTEM AT THE END OF THE WORK DAY OR WHEN RAIN IS FORECAST. REMOVE AND DISCARD EMPORARY SEALS BEFORE BEGINNING WORK ON ADJOINING ROOF 13.17. COORDINATE INSTALLING MEMBRANE ROOFING SYSTEM COMPONENTS SO INSULATION IS NOT EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT THE END OF THE WORK DAY

MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLING ROOF

INSULATION. 13.19. WHERE OVERALL THICKNESS OF ROOF INSULATION IS 2 INCHES OR GREATER, INSTALL TWO OR MORE LAYERS WITH JOINTS OF EACH SUCCEEDING LAYER STAGGERED FROM JOINTS OF PREVIOUS LAYER A MINIMUM OF 6 INCHES. 13.20 TRIM SURFACE OF INSULATION WHERE NECESSARY AT ROOF DRAINS SO COMPLETED SURFACE IS FLUSH AND DOES NOT RESTRICT THE FLOW OF WATER INSTALL INSULATION WITH LONG JOINTS OF INSULATION IN A CONTINUOUS STRAIGHT LINE WITH END JOINTS STAGGERED BETWEEN ROWS, ABUTTING EDGES AND ENDS BETWEEN BOARDS. FILL GAPS EXCEEDING 1 /4" WITH INSULATION. INSTALL COVER BOARDS OVER INSULATION WITH LONG JOINTS IN CONTINUOUS STRAIGHT LINES WITH END JOINTS STAGGERED BETWEEN ROWS. STAGGER JOINTS FROM JOINTS IN INSULATION BELOW A MINIMUM OF 6 INCHES IN EACH DIRECTION.

ROOFING IN PER MANUFACTURER'S WRITTEN INSTRUCTIONS. UNROLL ROOFING AND ALLOW TO RELAX BEFORE INSTALLING. 13.24. INSTALL SHEET FLASHINGS AND PREFORMED FLASHING ACCESSORIES AND ADHERE TO SUBSTRATES ACCORDING TO MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN 13.25. PROTECT MEMBRANE ROOFING SYSTEM FROM DAMAGE AND WEAR DURING REMAINDER OF CONSTRUCTION PERIOD. CORRECT DEFICIENCIES IN OR REMOVE MEMBRANE ROOFING SYSTEM THAT DOES NOT COMPLY WITH REQUIREMENTS REPAIR SUBSTRATES AND REPAIR OR REINSTALL MEMBRANE ROOFING SYSTEM TO A CONDITION FREE OF DAMAGE AND DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION AND ACCORDING TO WARRANTY REQUIREMENTS. CLEAN OVERSPRAY AND SPILLAGE FROM ADJACENT

CONSTRUCTION USING CLEANING AGENTS AND PROCEDURES RECOMMENDED BY MANUFACTURER OF AFFECTED CONSTRUCTION. ASPHALT SHINGLES ROOFING SYSTEM DELIVER MATERIALS TO THE SITE IN MANUFACTURER'S UNOPENED BUNDLES WITH LABELS INTACT AND LEGIBLE. STORE ALL PRODUCTS PER MANUFACTURER'S STORE BUNDLES ON A FLAT SURFACE. DO NOT STACK

PRODUCT MORE THAN TWO PALLETS HIGH. STORE ALL ROLLS ON END FOR ROOFTOP LOADING, LAY SHINGLE BUNDLES FLAT. DO DO NOT INSTALL UNDERLAYMENT OR SHINGLES ON WET 14.6. DO NOT INSTALL SYSTEMS UNDER ENVIRONMENTAL

CONDITIONS OUTSIDE OF MANUFACTURER'S REQUIREMENTS PROVIDE HIP AND RIDGE SHINGLES COLOR FORUMLATED TO COMPLEMENT FIELD OF ROOF. GALVANIZED STEEL STAINLESS STEEL OR ALLIMINUM FASTENERS OF SIZE AS PER MANUFACTURER'S REQUIREMENTS ALL FASTENERS MUST BE DRIVEN FLUSH WITH THE SHINGLE SURFACE AND PENETRATE AT LEAST 3/4" INTO THE WOOD DECK. WHERE THE DECK IS LESS THAN 3/4" THICK. THE FASTENER SHOULD BE LONG ENOUGH TO PENETRATE FULLY AND EXTEND THROUGH ROOF PRIOR TO STARTING WORK, EXAMINE ALL ROOF DECKS FOR DEFECTS IN MATERIAL AND WORKMANSHIP WHICH MAY BE DETREMENTAL TO PROPER INSTALLATION OR LONG-TERM

PERFORMANCE OF SHINGLES. 14.10.1. ROOF DECK MUST BE DRY AND PER MANUFACTURER'S APPROVED CONSTRUCTION VENTILATION UNDER THE ROOF DECK MUST MEET ALL LOCAL CODE REQUIREMENTS 14.10.3. DO NOT BEGIN INSTALLATION UNTIL THE ROOF DECK HAS BEEN PROPERLY PREPARED VERIFY THAT DECK IS DRY, STRUCTURALLY SOUND, CLEAN AND SMOOTH. IT SHALL BE FREE OF ANY DEPRESSIONS, WAVES AND PROJECTIONS. DECKING OR DECK BOARDS WITH HOLES GREATER THAN 1" IN DIAMETER SHALL BE REPLACED.

> 14.12.1. INSTALL UNDERLAYMENT PER MANUFACTURER'S REQUIREMENTS. INSTALL SELF-ADHERING ICE AND WATER BARRIER FROM THE EAVES EDGE OF ROOF UP THE SLOPE A LL 36" BUT NOT LESS THAN 24" BEYOND THE INTERIOR EDGE OF THE EXTERIOR WALL. LAP ENDS 6" ON ROOF DECKS SLOPED 5:12 AND GREATER 14.12.2. INSTALL DRIP EDGE ON ALL ROOF EDGES. 14.12.3. AT VALLEYS, INSTALL SELF-ADHERING ICE AND WATER BARRIER AT LEAST 36" WIDE CENTERED IN THE VALLEY. LAP ENDS 6" AND SEAL. 14.12.4. ON ROOF WITH PITCH GREATER THAN 4:12, LAP IORIZONTAL EDGES AT LEAST 2" AND AT LEAST 2" OVER SELE-ADHERING ICE AND WATER BARRIER I AP ENDS AT LEAST 4". END LAPS IN SUCCEEDING COURSE SHOULD BE LOCATED AT LEAST 6'-0" FROM END LAPS IN THE PRECEDING 14.12.5. LAP UNDERLAYMENT OVER VALLEY PROTECTION 14.12.6. AT PENETRATIONS. INSTALL A 24" SQUARE PIECE

OF SELF-ADHERING ICE AND WATER BARRIER LAPPING OVER ROOF DECK UNDERLAYMENT, SEAL TIGHTLY TO PIPE. 14.13.1. INSTALL SHINGLES PER MANUFACTURER'S 14.13.2. INSTALL STARTER COURSE AT LOWEST ROOF EDGE AND ALONG RAKE WITH EDGE OF SHINGLES EXTENDING 1/4" OVER EDGE OF ROOF. INSTALL FIRST AND SUCCESSIVE COURSES OF SHINGLES STEPPING DIAGONALLY UP AND ACROSS ROOF DECK WITH MANUFACTURER'S RECOMMENDED OFFSET AT EACH SUCCEEDING COURSE. MAINTAIN UNIFORM EXPOSURE OF SHINGLES AT EACH SUCCEEDING COURSE. 14.13.4. FASTEN SHINGLES TO DECK WITH MANUFACTURER'S RECOMMENDED NUMBER OF ROOFING NAILS PER SHINGLE. OR IN ACCORDANCE WITH LOCAL 14.13.5. INSTALL RIDGE VENTS AND SHINGLES AT

VALLEYS, HIPS AND RIDGES IN ACCORDANCE WITH

MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE PROTECT INSTALLED PRODUCTS UNTIL COMPLETION OF TOUCH UP, REPAIR OR REPLACE DAMAGED PRODUCTS BEFORE SUBSTANTIAL COMPLETION.

WINDOW AND DOOR NOTES:

MINIMUM ONE (1) WINDOW PER BEDROOM TO MEET OR EXCEED THE MAXIMUM SILL HEIGHT - 44 IN MINIMUM CLEAR OPENING WIDTH - 20' MINIMUM CLEAR OPENING AREA - 5.7 S.F. EXCEPT: GRADE FLOOR WINDOWS: MINIMUM CLEAR

USE TEMPERED OR LAMINATED SAFETY GLASS OR APPROVED SHATTER - RESISTANT PLASTIC IN ALL SLIDING GLASS DOORS, FRENCH DOORS, SIDELIGHTS, AND SHOWER DOORS. AIR INFILTRATION FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER FOOT OF SASH TRACK, FOR DOORS - DO NOT EXCEED 0.5 CFM PER SQUARE FOOT MINIMUM "U" - VALUE FOR WINDOWS AND DOORS TO BE .40. PROVIDE THUMB TURN LOCK FOR EXIT DOORS.

DRYWALL AND FINISH MATERIAL NOTES:

DRYWALL INSTALLATION MUST BE IN ACCORDANCE WITH THE GYPSUM ASSOC. RECOMMENDED PRACTICES. THICKNESS, NAILING, TAPING, CORRECT STUD SPACING AND FIRE RATED TYPES MUST BE INSTALLED ACCORDING TO TEST

PROVIDE WATER RESISTANT GYPSUM BACKER BOARDS (ASTM 6630) AS A SUBSTRATUM IN BATHTUB AND SHOWER COMPARTMENTS. SHOWER AND BATHTUB ENCLOSURES SHALL HAVE WALLS CONSTRUCTED OF SMOOTH, NON-CORROSIVE NON-ARSORBENT AND WATERPROOF MATERIALS TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE ROOM FLOOR LEVEL. SHOWER FLOOR SURFACES SHALL BE SMOOTH, NON CORROSIVE AND WATERPROOF MATERIALS. MAXIMUM FLAME SPREAD OF ANY INTERIOR FINISH MATERIAL SHALL BE LIMITED TO 200 OR LESS. PROVIDE STAIR HANDRAILS WITH "GRASP ABLE" PERIMETER IN CONFORMANCE TO IRC REQUIREMENTS, HANDRAIL MAY PROJECT A MAXIMUM OF 4-1/2" INTO WIDTH OF STAIR. GUARD RAIL SHALL BE PROVIDED WHERE DIFFERENCE IN FLOOR LEVELS IS GREATER THAN 15-1/2" (EXCEPT 2'-6" AT FRONT

VENT 50 CFM BATH FANS AND 100 CFM KITCHEN RANGE HOOD TO EXTERIOR, MIN.
2. PROVIDE SEPARATE VENT TO EXTERIOR FOR DRYER.

FURNACE FLUE IS TO BE SIZED BY THE MECHANICAL CONTRACTOR. PROVIDE MINIMUM 2" CLEARANCE TYPICAL.

4. THE GAS PIPE MUST ENTER THE HOUSE ABOVE THE GRADE, TO BE SEE HVAC PLANS, SUPPLIED BY OTHERS FOR SIZE OF GAS/ELECTRIC HOT WATER HEATER, GAS/ELECTRIC FURNACE, DUCTWORK, GAS PIPE SIZES AND FLUE SIZES. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH THE 2009 ALL SUPPLY REGISTERS SHALL BE 10" X 4" MINIMUM UNLESS

OTHERWISE NOTED GAS VENTS TO EXTEND MINIMUM 3'-0" ABOVE THE ROOF AND AT LEAST 2'-0" HIGHER THAN ANY PART OF THE BUILDING WITHIN 10'-0". EXCEPTION: UL LISTED VENTS MAY BE INSTALLED IN ACCORDANCE WITH THEIR LISTING NATURAL VENTS MUST EQUAL 1/150 OF HORIZONTAL AREA OF ATTIC SPACE. (MINIMUM 2 REMOTE VENTS REQUIRED.) POWER VENTS MUST EQUAL 0.02 CFM MINIMUM PER SQUARE FOOT OF AREA AND MUST COME ON AUTOMATICALLY WHEN HUMIDITY REACHES 60% OR MORE. WHERE RIDGE OF GABLE VENTS ARE USED. HALF THE REQUIRED VENTILATION VEN AREA IS TO BE PROVIDED BY EAVE OR CORNICE VENTS. EXCEPTION: THE REQUIRED VENT AREA MAY BE REDUCED TO 1/300 IF THE GABLE OR RIDGE VENTS ARE LOCATED IN THE UPPER 1/3 OF THE ATTIC OR ENCLOSED RAFTER SPACE. THERMOSTATS SHALL BE CAPABLE OF BEING SET FROM 55 DEGREES F TO 75 DEGREES F FOR COOLING ONLY. IF THE THERMOSTAT IS USED FOR HEATING AND COOLING, IT SHALL BE CAPABLE OF BEING SET FROM 55 DEGREES F

TO 85 DEGREES F AND SHALL BE CAPABLE OF OPERATING THE SYSTEM'S HEATING AND COOLING SEQUENCE. IT SHALL BE ADJUSTABLE TO PROVIDE A EMPERATURE RANGE OF 10 DEGREES F BETWEEN FULL HEATING AND FULI COOLING EXCEPT IN INDEPENDENT SYSTEMS. AT LEAST ONE (1) THERMOSTAT VENTILATION AIR FOR RESIDENTIAL LISES. SEE IMC 2003. PROVIDE GAS SHUT-OFF VALVE FOR EACH APPLIANCE. PROVIDE A SEDIMENT TRAP FOR EACH GROUP OF GAS APPLIANCES MECHANICAL DUCTS LOCATED IN UNCONDITIONED SPACES SHALL BE

ELECTRICAL & COMMUNICATION NOTES:

ALL EXTERIOR ELECTRICAL OLITLETS AND ALL ELECTRIC IN THE GARAGE, AND KITCHEN AND BATHROOMS, TO BE GFI. ALL EXTERIOR OUTLETS TO BE WATERPROOF. ALL ELECTRICAL OUTLETS IN BEDROOMS ARE TO ARC FAULT CIRCUIT CONTRACTOR TO INSTALL IRC APPROVED SMOKE DETECTORS (AC POWERED W/ BATT, BACKUP AND UL LISTED) IN EACH BEDROOM AND ON EACH LEVEL OF HOUSE AS SHOWN ON PLANS. MUST BE INTERCONNECTED, NFPA 72-93.

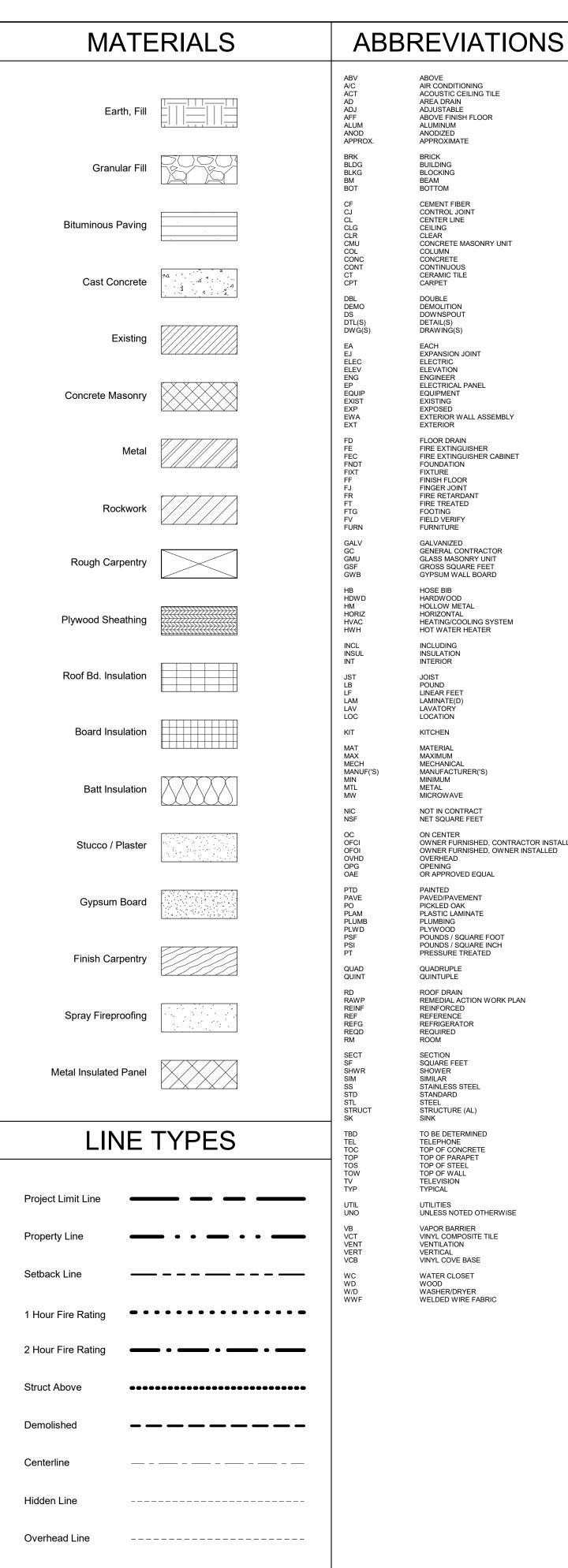
SIZE OF ELECTRICAL SERVICE IS 200 AMP. LIGHT FIXTURES SHALL NOT BE INSTALLED WITHIN 3' HORIZONTALLY MEASURED FROM FROM THE OUTSIDE EDGE OF THE TUB, AND 8' VERTICALLY INTERIOR STAIRWAYS TO BE PROVIDED WITH A MINIMUM OF 10 FC MEASURED AT EVERY TREAD NOSING. ALL EXTERIOR STAIRWAYS SERVING THE DWELLING TO HAVE A MINIMUM OF 1 FC MEASURED ON THE TREAD RUNS. NTERIOR STAIRWAYS TO HAVE ILLUMINATED LIGHTING CONTROLS AT EACH FLOOR LEVEL. SWITCHES MUST BE OPERABLE FROM THE TOP AND BOTTOM OF THE STAIRWAY WITHOUT TRAVERSING ANY STEP OF THE STAIRWAY EXTERIOR STAIRWAYS SHALL HAVE LIGHTING CONTROLLED INSIDE THE WELLING, AUTOMATICALLY ACTIVATED WITH A MANUAL OVERRIDE, OR CONTINUOUSLY OPERATED.

RECEPTACLES ARE REQUIRED IN ALL HABITABLE ROOMS EXCEPT BATHROOMS SO THAT NO SPACE ALONG A WALL IS MORE THAN 6' FROM A RECEPTACLE. ALL SPACES 2' OR WIDER, INCLUDING FIXED GLASS PANELS OR RAILING SHALL BE INCLUDED IN THE 6' MEASUREMENT. RECEPTACLES FOR RANGES AND CLOTHES DRYERS SHALL BE 3-POLE WITH GROUND TYPE PROVIDE INTERSYSTEM BONDING TERMINAL FOR GROUNDING COMMUNICATION SYSTEMS (CABLE TV AND SATELLITE DISHES). INSTALL LIGHTING IN CLOSETS PER E3903.11

COORDINATE ALL ELECTRICAL WORK REQUIRED FOR ALL APPLIANCES COORDINATE ALL ELECTRICAL WORK REQUIRED PER SCOPE OF WORK OF OTHER TRADES THROUGHOUT THE PROJECT

PLUMBING NOTES:

ALL HOSE BIBS TO BE ERFEZE PROOF NO-LEAD SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPES ALL WASHERS LOCATED IN AND ABOVE HABITABLE AREA SHALL HAVE PROVIDE A MINIMUM 1" WATER SERVICE. WATER SERVICE AND SEWER INE TO BE SEPARATED HORIZONTALLY BY 10 FEET. COORDINATE ALL PLUMBING WORK REQUIRED FOR ALL APPLIANCES COORDINATE ALL PLUMBING WORK REQUIRED PER SCOPE OF WORK OF OTHER TRADES THROUGHOUT THE PROJECT.



NIC Standard

SHEET NO. AIR CONDITIONING ACOUSTIC CEILING TILE AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR A-000 ALUMINUM A-001 ANODIZED **APPROXIMATE** A-002 A-003 BLOCKING A-101 A-102 A-110 CEMENT FIBER CONTROL JOIN A-201 CENTER LINE A-202 CEILING A-301 CONCRETE MASONRY UNIT A-401 CONCRETI CONTINUOUS A-601 CERAMIC TILE A-701 DOUBLE DEMOLITION DETAIL(S) DRAWING(S **EXPANSION JOIN** ELEVATION **FNGINFFR ELECTRICAL PANEL** FOUIPMENT EXISTING EXTERIOR WALL ASSEMBLY FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET **FOUNDATION** FINGER JOINT FIRE RETARDAN FIRE TREATED FIFI D VFRIFY **FURNITURE** GALVANIZED GENERAL CONTRACTOR GLASS MASONRY UNIT **GROSS SQUARE FEET** GYPSUM WALL BOARD HOSE BIB HARDWOOD HOLLOW METAL HORIZONTAL HEATING/COOLING SYSTEM HOT WATER HEATER INCLUDING INSULATION INTERIOR LINEAR FEET Room Name LAVATORY LOCATION and Number KITCHEN MATERIAL MAXIMUM MECHANICAL Door Size MANUFACTURER('S' MICROWAVE NOT IN CONTRAC Window Number ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OVERHEAD OR APPROVED EQUAL Elevation Mark PAVED/PAVEMENT PICKLED OAK PLASTIC LAMINATE IVWOOD POUNDS / SQUARE FOOT POUNDS / SQUARE INCH PRESSURE TREATED QUINTUPLE ROOF DRAIN REMEDIAL ACTION WORK PLAN RFINFORCED REFERENCE REFRIGERATOR REQUIRED ROOM SHOWER STAINLESS STEE Detail Mark STRUCTURE (AL) TO BE DETERMINED TELEPHONE TOP OF CONCRETE TOP OF STEEL TOP OF WALL TELEVISION TYPICAL UNLESS NOTED OTHERWISE VAPOR BARRIER VINYL COMPOSITE TILE VENTILATION Floor Elevation VINYL COVE BASE WATER CLOSET WASHER/DRYER WELDED WIRE FABRIC

REV DATE SHEET NAME **ARCHITECTURAL** 2 11/21/17 COVER SHEET SITE PLAN TYPICAL IRC DETAILS 11/21/17 TYPICAL IRC TABLES FLOOR PLANS 11/21/17 FLOOR PLANS 2 11/21/17 ELECTRICAL / LIGHTING PLANS **EXTERIOR ELEVATIONS** 2 11/21/17 **EXTERIOR ELEVATIONS** 2 11/21/17 BUILDING SECTIONS **DETAILS** INTERIOR ELEVATIONS GARAGE DRAWINGS 1 11/21/17 mummummy m

DRAWING LIST

1607 Tower Grove Avenue Saint Louis, Missouri 63110 centraldesignoffice.com 314.771.7300 10/31/2017

OWNER:

UIC HOMES

1607 Tower Grove Avenue

Central Design Office, LLC

Brent A. Crittenden

MO# 2006003774

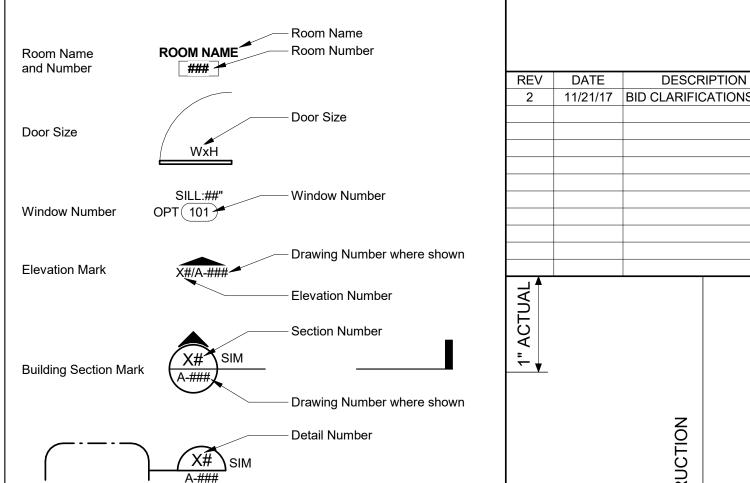
DESCRIPTION

Saint Louis, Missouri 63110

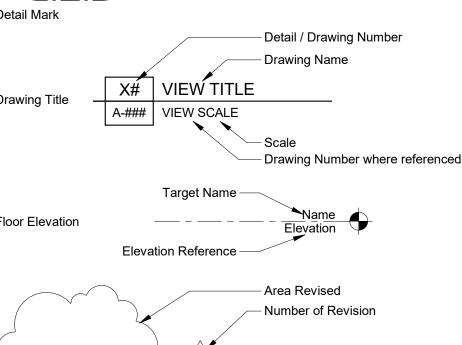
CODE BLOCK

CONSTRUCTION TYPE: VB SINGLE FAMILY HOME 2-STORY W/ BASEMENT SQUARE FOOTAGE 900 GSF FIRST FLOOR 005 GSF SECOND FLOOR 484 GSF GARAGE ZONE: 'B' TWO FAMILY RESIDENTIAL

DRAWING CONVENTIONS



Drawing Number Where Referenced



Revision Mark

North Arrow

Font Type

LARGE TITLES:

ARIAL, SIZE 1/4" TITLES: ARIAL, SIZE 1/8" NOTES: ARIAL, SIZE 3/32"

ISSUE OCTOB ISSUE I ISSUE I DRAWN SHEET

4

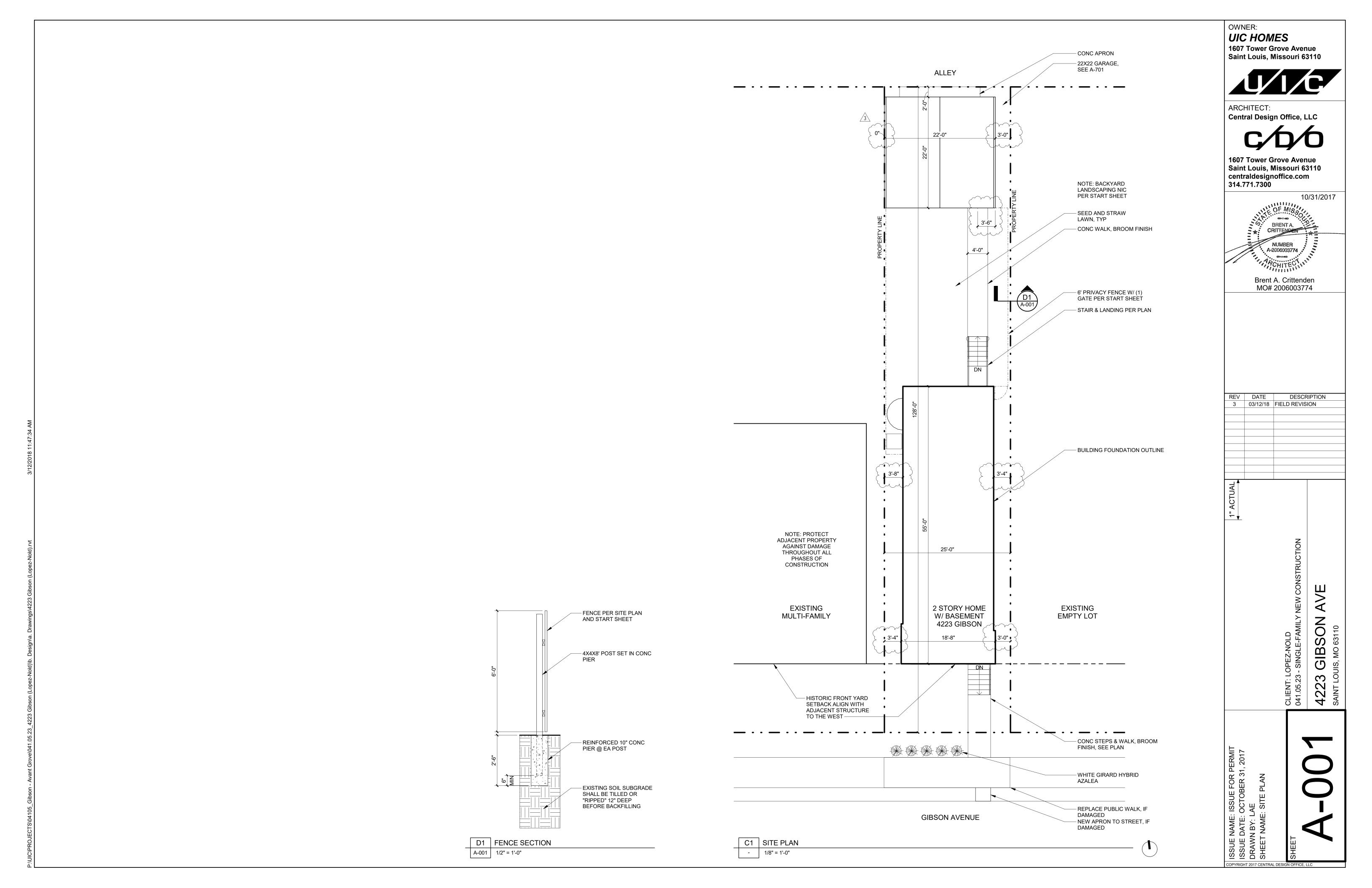
<

O

 \Box

3

2



LATERAL DESIGN CRITERIA:

2.A. EXTERIOR BRACING METHOD: CONTINUOUS SHEATHING

2.B. WIND EXPOSURE CATEGORY: B 2.C. BASIC WIND SPEED: 90 mph

2.D. SEISMIC DESIGN CATEGORY: C

2E. SOILS CLASSIFICATION: D (NO SOILS REPORT PROVIDED)

CONTRACTOR TO CONSTRUCT THE LATERAL BRACING SYSTEMS AS SHOWN ON STRUCTURAL DRAWINGS. BRACED WALL PANELS, AS LOCATED ON THE DRAWINGS, ARE TO BE CONSTRUCTED PER THE DETAILS AND TABLES PROVIDED FOR EACH BRACING METHOD.

. WALL ANCHORS AND HOLD DOWN ANCHORS SPECIFIED BY APPROPRIATE DETAILS SHALL BE INSTALLED ACCORDING TO

DETAILS BEFORE POURING THE FOUNDATION WALLS U.N.O. WOOD SPECIES: #1 SOUTHERN PINE: 2x6, 2x8, 2x10, 2x12 FRAMING MEMBERS

#2 SPRUCE-PINE-FIR: 2x4, 2x6 STUDS

#1 DOUGLAS FIR-SOUTH: 6x6 OR 8x8 POSTS 6. STEEL DESIGNATIONS: A36: TOP PLATE, BOTTOM PLATE, STRUCTURAL ANGLES

A500 Gr. B: HSS STRUCTURAL TUBES

A992: W-SHAPES 7. FASTEN ALL STRUCTURAL MEMBERS AND BRACING PER TABLE R602.3(1) REF. SHEET S-102

8. BWP's INTERIOR FINISH MATERIALS SHALL BE A MIN. ½" GYPSUM WALL BOARD AND FASTENED ACCORDING TO TABLE R702.3.5. REF. SHEET **A-003**

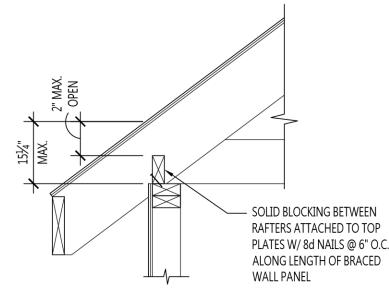
9. CONTINUOUS SHEATHING BRACE WALL PANEL DESIGNATION AND METHOD OF CONSTRUCTION:

9.A. A MINIMUM 24" PANEL CORNER RETURN SHALL BE PROVIDED @ BOTH ENDS OF BWL. IN LIEU OF CORNER RETURN, PROVIDE A MIN. 800Ib HOLD DOWN DEVICE, SIMPSON LSTHD8 (INSTALL PER MANUFACTURERS SPECIFICATIONS). 9.B. CORNER FRAMING FOR CONTINUOUS SHEATHING METHOD IS TO BE INSTALLED PER FIGURE R602.10.4.4(1) REF. DETAIL 4/A-002

10. BWP CONNECTIONS TO FLOOR FRAMING AND FOUNDATION TO BE INSTALLED PER FIGURES R602.10.6(1) AND R602.10.6(2) REF. DETAILS 5/A-002 & 6/A-002

 BWP CONNECTIONS TO ROOF FRAMING TO BE INSTALLED PER FIGURES R602.10.6.2(1), R602.10.6.2(2) AND R602.10.6.2(3). REF. DETAILS 1/A-002, 2/A-002 & 3/A-002

	SUMMARY OF LATERAL BRACING METHODS	
METHOD	FASTENING REQUIREMENTS	STRUCTURAL DRAWING REF NUMBER
CS-PF	PER 2009 I.R.C FIGURE R602.10.4.1.1	7/A-002
CS-WSP	6d COMMON NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS REF TABLE R602.3(1) & TABLE R602.3(3)	A-003
GB	NAILS OR SCREWS @ 4" O.C. @ PANEL EDGES W/ ALL EDGES BLOCKED. REF TABLE R702.3.5	A-003



BRACED WALL PANEL A-002 CONNECTION TO PERPENDICULAR RAFTERS

FIGURE R602.10.6.2(1)

SCALE: 1" = 1'-0"

BRACED WALL PANEL CONNECTION OPTION TO PERPENDICULAR RAFTERS **OR ROOF TRUSSES**

METHOD DWB. WSP. SFB. GB. PBS. PCP OR HPS

- 2X BLOCKING

TRUSSES

R602.3(1)

SHOWN)

FIGURE R602.10.6.2(2)

EXTENT OF HEADER (TWO BRACED WALL SEGMENTS

EXTENT OF HEADER (ONE BRACED WALL SEGMENT)

BRACED WALL SEGMENT PER R602.10.4 —

2' TO 18' (FINISHED WIDTH)

MIN. 1000 LB. STRAP SHALL BE

HEADER AND INSTALLED ON

BACKSIDE AS SHOWN ON SIDE

NO. OF JACK STUDS PER TABLE -

WOOD STRUCTURAL PANEL STRENGTH

- MIN. NUMBER OF STUDS SHOWN

MIN. LENGTH BASED ON 6:1

HEIGHT-TO-LENGTH RATIO: FOR EX.:

R502.5(1&2)

CENTERED AT BOTTOM OF

ELEVATION

ROOF SHEATHING

R602.3(1) (TYP.)

BLOCKING

BRACING

SCALE: 1" = 1'-0"

OUTSIDE ELEVATION

MIN. 3"x11 1/4" NET HEADER

(TYP.)

HEADER SHALL BE FASTENED TO THE

KING STUD WITH 6-16d SINKER NAILS

FASTEN SHEATHING TO HEADER WITH -

PATTERN AS SHOWN & 3" O.C. IN ALL

FRAMING AS SHOWN (STUDS & SILLS)

8d COMMON NAILS IN 3" GRID

FOR PANEL SPLICE (IF NEEDED), PANEL -

EDGES SHALL OCCUR OVER AND BE

BRACED WALL

EDGE NAILING PER TABLE

2X BLOCKING – PRE-ENGINEERED BRACING ^a – PRE-ENGINEERED TRUSSES - NAILING PER TABLE BRACED WALL - NAILING PER TABLE R602.3(1) PROVIDE VENTING PER SECTION R806 (NOT 6'-0' MAX. a. METHODS OF BRACING SHALL BE AS DESCRIBED IN SECTION R602.10.2 METHOD DWB, WSP, SFB, GB, PBS, PCP OR HPS a. METHODS OF BRACING SHALL BE AS DESCRIBED IN SECTION R602.10.2

SIDE ELEVATION

MIN. 1000 LB. TENSION

CENTERED AT BOTTOM

SHEATHING FILLER IF

 16d SINKER NAILS IN (2) ROWS @ 3" O.C.

WOOD STRUCTURAL

CONTINUOUS FROM

FROM TOP OF WALL TO

TOP OF WALL TO BOTTOM OF WALL, OR

PERMITTED SPLICE

- ¾" MIN. THICKNESS

PANEL MUST BE

STRAP SHALL BE

OF HEADER

NEEDED

PROVIDE VENTING PER

SCALE: 1" = 1'-0"

8222224

SECTION R806 (NOT

SHOWN)

BRACED WALL PANEL CONNECTION OPTION TO PERPENDICULAR RAFTERS OR ROOF TRUSSES

FIGURE R602.10.6.2(3)

ROOF SHEATHING

R602.3(1) (TYP.)

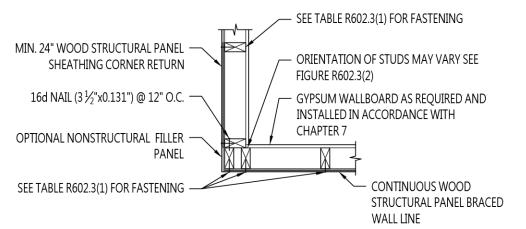
— BRACING ^a

— VENTING

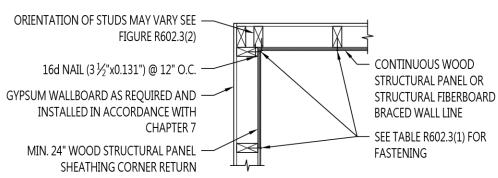
- EDGE NAILING PER TABLE

WALL SHEATHING

BELOW NOT SHOWN



OUTSIDE CORNER DETAIL



INSIDE CORNER DETAIL

TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING

SCALE: 3/4" = 1'-0" FIGURE R602.10.4.4(1)

- FULL HEIGHT BLOCKING

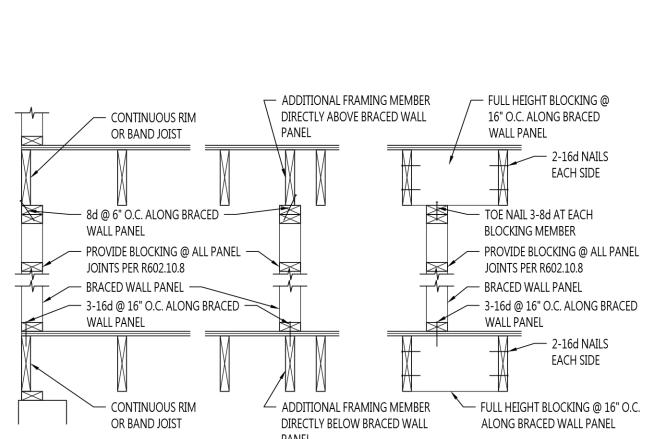
CONTINUOUS ALONG

- FULL HEIGHT BLOCKING

CONTINUOUS ALONG

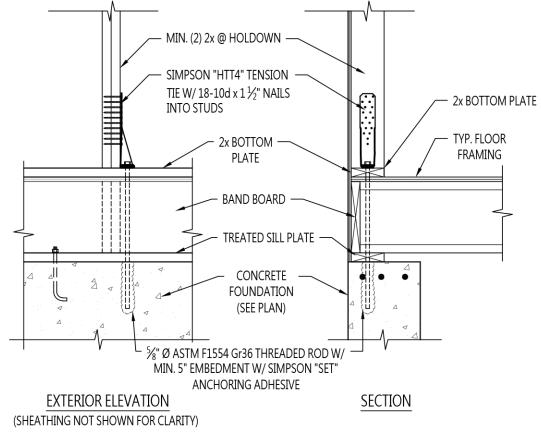
LENGTH OF BRACED WALL

LENGTH OF BRACED WALL



BRACED WALL PANEL CONNECTION WHEN BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO PARALLEL TO FLOOR/CEILING FRAMING

WOOD STRUCTURAL 16" MIN. FOR 8' HEIGHT NAILED TO COMMON BLOCKING AND PANEL SHEATHING OCCUR WITHIN MIDDLE 24" OF WALL HEIGHT. ONE ROW OF 3"O.C. NAILING IS REQUIRED IN EACH PANEL EDGE. ANCHOR BOLT PER R403.1.6 TYP. -MIN. 2"x2"x $\frac{3}{16}$ " PLATE WASHER OVER CONCRETE OR MASONRY BLOCK FOUNDATION NAIL SOLE PLATE TO JOISTS PER TABLE : NAIL SOLE PLATE TO FRAMING ANCHORS JOISTS PER TABLE 670 LB ↑ R602.3(1) 670 LB → APPROVED BAND JOIST WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND JOIST OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION NAIL SOLE PLATE TO JOISTS PER TABLE -- NAIL SOLE PLATE TO JOISTS PER TABLE - 8d COMMON NAILS 3" O.C. TOP & BOTTOM R602.3(1) APPROVED BAND WOOD STRUCTURAL PANEL SHEATHING OVER APPROVED BAND JOIST OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION

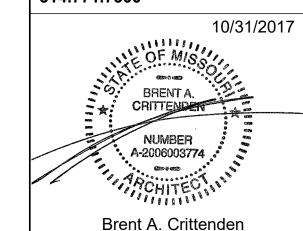


UIC HOMES 1607 Tower Grove Avenue Saint Louis, Missouri 63110

OWNER:

Central Design Office, LLC

1607 Tower Grove Avenue Saint Louis, Missouri 63110 centraldesignoffice.com 314.771.7300



MO# 2006003774

DESCRIPTION

¥ SON

GIB .22 4 9

ISSUE I OCTOB AE

TYPICAL 800# HOLDOWN DETAIL @ FIRST FLOOR FRAMING - POST INSTALLED OPTION A-002 FIGURE R602.10.4.1.1 SCALE: 3/4"=1'-0"

SCALE: 3/4" = 1'-0"

- CONTINUOUS RIM

PERPENDICULAR FRAMING

- PROVIDE BLOCKING @ ALL PANEL 🕂

- 3-16d @ 16" O.C. ALONG BRACED

PERPENDICULAR FRAMING

OR BAND JOIST

— 8d @ 6" O.C. ALONG

BRACED WALL PANEL

JOINTS PER R602.10.8

- BRACED WALL PANEL -

- CONTINUOUS RIM OR

BAND JOIST

WALL PANEL

FLOOR/CEILING FRAMING

FIGURE R602.10.6(1)

SCALE: 3/4" = 1'-0"

FIGURE R602.10.6(2)

IMPORTANT CODE REQUIREMENT ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.4.

A-002

METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION SCALE: 3/8"=1'-0"

(A-003) SCALE: 3/8" = 1'-0"

	2009 I.R.C. TABLE R602.3(1) FASTENER SCHEDULE FC	OR STRUCTURAL MEM	BERS
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,c}	SPACING OF FASTENERS
	ROOF		
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
2	CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTERS, LAPS OVER PARTITIONS, FACE NAIL	3-10d	-
4	COLLAR TIE RAFTER, FACE NAIL OR 1 1/4" X 20 GAGE RIDGE STRAP	3-10d	-
5	RAFTER TO PLATE, TOE NAIL	2-16d	-
6	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL or FACE NAIL	4-16d or 3-16d	-
	WALL		
7	BUILT-UP CORNER STUDS	10d	24" o.c.
8	BUILT-UP HEADER, TWO PIECES WITH ½" SPACER	16d	16" o.c. ALONG EACH EDGE
9	CONTINUED HEADER, TWO PIECES	16d	16" o.c. ALONG EACH EDGE
10	CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
11	DOUBLE STUDS, FACE NAIL	10d	24" o.c.
12	DOUBLE TOP PLATES, FACE NAIL	10d	24" o.c.
13	DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	-
14	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" o.c.
15	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" o.c.
16	STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
17	TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	-
18	TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	-
19	1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d	-
20	1" X 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
21	1" X 8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
22	WIDER THAN 1" X 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d	-
	FLOOR		
23	JOISTS TO SILL OR GIRDER, TOE NAIL	3-8d	-
24	1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	-
25	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d	-
26	RIM JOISTS TO TOP PLATE, TOE NAIL	8d	6" o.c.
27	2" PLANKS	2-16d	AT EACH BEARING
28	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" o.c. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
29	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d	AT EACH JOIST OR RAFTER

	2009 I.R.C. TABLE R	602.3(1) FASTENER SCHEDULE FOR STRUCT	URAL MEMBER	S (continued)	
	DECEDIDITION OF BUILDING		SPACING OF FASTENERS		
ITEM	MATERIALS	DESCRIPTION OF BUILDING MATERIALS DESCRIPTION OF FASTENER ^{c,e}			
	WOOD STRUCTURAL PANELS, SUBFL	OOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING, AND P	ARTICLEBOARD WALL	SHEATHING TO FRAMING	
30	3/8" - 1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)	6	12 ^g	
31	5/16" - 1/2"	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)	6	12 ^g	
32	¹⁹ / ₃₂ " - 1"	8d COMMON NAIL	6	12 ^g	
33	11/8" - 11/4"	10d COMMON NAIL OR 8d DEFORMED NAIL	6	12	
		OTHER WALL SHEATHING h			
34	½" STRUCTURAL CELLOLOSIC FIBERBOARD SHEATHING	$1\frac{1}{2}$ " GALVANIZED ROOFING NAIL; $\frac{1}{16}$ " CROWN OR 1" CROWN STAPLE 16ga., $1\frac{1}{4}$ " LONG	3	6	
35	²⁵ ⁄ ₃₂ " STRUCTURAL CELLOLOSIC FIBERBOARD SHEATHING	$1\frac{3}{4}$ " GALVANIZED ROOFING NAIL; $\frac{7}{16}$ " CROWN OR 1" CROWN STAPLE 16ga., $1\frac{1}{2}$ " LONG	3	6	
36	½" GYPSUM SHEATHING ^d	$1\frac{1}{2}$ " GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, $1\frac{1}{2}$ " LONG; $1\frac{1}{4}$ " SCREWS, TYPE W OR S	7	7	
37	5%" GYPSUM SHEATHING ^d	$1\frac{3}{4}$ " GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, $1\frac{5}{8}$ " LONG; $1\frac{5}{8}$ " SCREWS, TYPE W OR S	7	7	
	WOO	D STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYME	NT TO FRAMING		
38	³⁄₄" AND LESS	6d DEFORMED NAIL OR 8d COMMON NAIL	6	12	
39	½" - 1"	8d COMMON NAIL OR 8d DEFORMED NAIL	6	12	
40	11/8" - 11/4"	10d COMMON NAIL OR 8d DEFORMED NAIL	6	12	

- a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80ksi for shank diameter of 0.192 inch (20d common nail), 90ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100ksi for shank diameters of 0.142 inch or less.
- c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be installed vertically.
- e. Spacing of fasteners not included in this table shall be based on Table R602.3(2)
- g. For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.
- h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
- i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof pane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof panels. Floor and roof perimeter shall be supported by framing members or solid blocking.

2009	I.R.C. TABLE R602.3	(3) REQUIREMENTS FO	R WOOD STRUCTURA	L PANEL WALL SI	HEATHING USED TO	RESIST WIND PRE	SSURES a,b,c		
A ATA ITA AL IA A	NIATI		NA A VINALINA	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph) WIND EXPOSURE CATEGORY			
MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	STRUCTURAL PANEL SDAN PATING THICKNESS						MAXIMUM WALL STUD SPACING
SIZE	PENETRATION (INCHES)		(INCHES)	(INCHES)	EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	В	С	D
6d COMMON	1.5	24/0	3/8	16	6	12	110	90	85
8d COMMON	1.75	24/16	7/16	16	6	12	130	110	105
ou COMMON	1./3	24/10	7/10	24	6	12	110	90	85

- a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs space more that 16 inches on center shall be applied with panel strength axis perpendicular to supports.
- b. Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with R602.10.
- c. Wood Structural Panels with span rating of Wall-16 or Wall-24 shall be permitted as an alternative to panels with a 24/0 span rating. Plywood siding rated 16oc or 24oc shall be permitted as an alternative to panels with a 24/16 span rating. Wall-16 and Plywood siding 16oc shall be used with study spaced a maximum of 16 inches on center.

	2009 I.R.	C. TABLE R702.3.5 MINIMUM	1 THICKNESS AND APPLI	CATION OF G	YPSUM BOARI	<u>)</u>	
THICKNESS OR GYPSUM BOARD	APPLICATION	ORIENTATION OF GYPSUM BOARD TO FRAMING	MAXIMUM SPACING OF FRAMING		SPACING OF RS (inches)	SIZE OF NAILS FOR APPLICATION TO WOOD FRAMING	
(inches)			MEMBERS (inches o.c.)	NAILS ^a	SCREWS b		
		APPLICATI	ON WITHOUT ADHESIV	E			
3/8	CEILING ^d	PERPENDICULAR	16	7	12	13 gage, $1\frac{1}{4}$ " long, $^{1}\%_{4}$ " head. 0.098" diamete $1\frac{1}{4}$ "long, annular-ringed. 4d cooler nail, 0.080	
	WALL	EITHER DIRECTION	16 8		16	diameter, $1\frac{3}{8}$ " long, $\frac{7}{32}$ " head.	
	CEILING	EITHER DIRECTION	16	7	12		
17	CEILING ^d	PERPENDICULAR	24	7	12	13 gage, $1\frac{3}{8}$ " long, $1\frac{9}{64}$ " head. 0.098" diamete $1\frac{1}{4}$ "long, annular-ringed. 5d cooler nail, 0.086	
1/2	WALL	EITHER DIRECTION	ITHER DIRECTION 24 8 12 dia		diameter, $1\frac{5}{8}$ " long, $\frac{15}{64}$ " head. or gypsuboard nail, 0.086" diameter, $1\frac{5}{8}$ " long, $\frac{9}{2}$ "		
	WALL EITHER DIRECTION		16	8	16		
	CEILING	EITHER DIRECTION	16	7	12		
5/8	CEILING ^e	PERPENDICULAR	24	7	12	13 gage, 1% " long, $1\%_4$ " head. 0.098" diamete 1% "long, annular-ringed. 6d cooler nail, 0.092	
/8	WALL	EITHER DIRECTION	24	8	12	diameter, $1\frac{7}{8}$ " long, $\frac{1}{4}$ " head. or gypsum boal nail, 0.0915" diameter, $1\frac{7}{8}$ " long, $\frac{19}{4}$ " head.	
	WALL	EITHER DIRECTION	16	8	16		
-		APPLICA	ATION WITH ADHESIVE				
3/8	CEILING ^d	PERPENDICULAR	16	16	16	Same as above for ¾" gypsum board	
78	WALL	EITHER DIRECTION	16	16	24	Same as above for 78 gypsum board	
	CEILING	EITHER DIRECTION	16	16	16		
½ or 5/8	CEILING ^d	PERPENDICULAR	24	12	16	Same as above for ½" and ½" gypsum board, respectively	
	WALL	EITHER DIRECTION	24	16	24		
Two ⅔ layers	CEILING	PERPENDICULAR	16	16	16	Base ply nailed as above for ½" gypsum board	
1 WO /8 layers	WALL	EITHER DIRECTION	24	24	24	Face ply installed with adhesive	

- a. For application without adhesive, a pair of nails spaced not less than 2 inches apart or more than $2\frac{1}{2}$ inches apart may be used with the pair of nails spaced 12 inches on center.
- d. Three-eighths-inch-thick single-ply gypsum board shall not be used on a ceiling where a water-based textured finish is to be applied, or where it will be required to support insulation above a ceiling. On ceiling applications to receive a water-based textured material, either hand or spray applied, the gypsum board shall be applied perpendicular to framing. When applying a water-based texture material, the minimum gypsum board thickness shall be increased from \(^3\)k inch to \(^1\)2 inch for 16 inches on center framing, and from \(^1\)2 inch to \(^1\)k inch for 24-inch on center framing or ½-inch sag-resistant gypsum ceiling board shall be used.
- e. Type X gypsum board for garage ceilings beneath habitable rooms shall be installed perpendicular to the ceiling framing and shall be fastened at maximum 6 inches o.c. by minimum

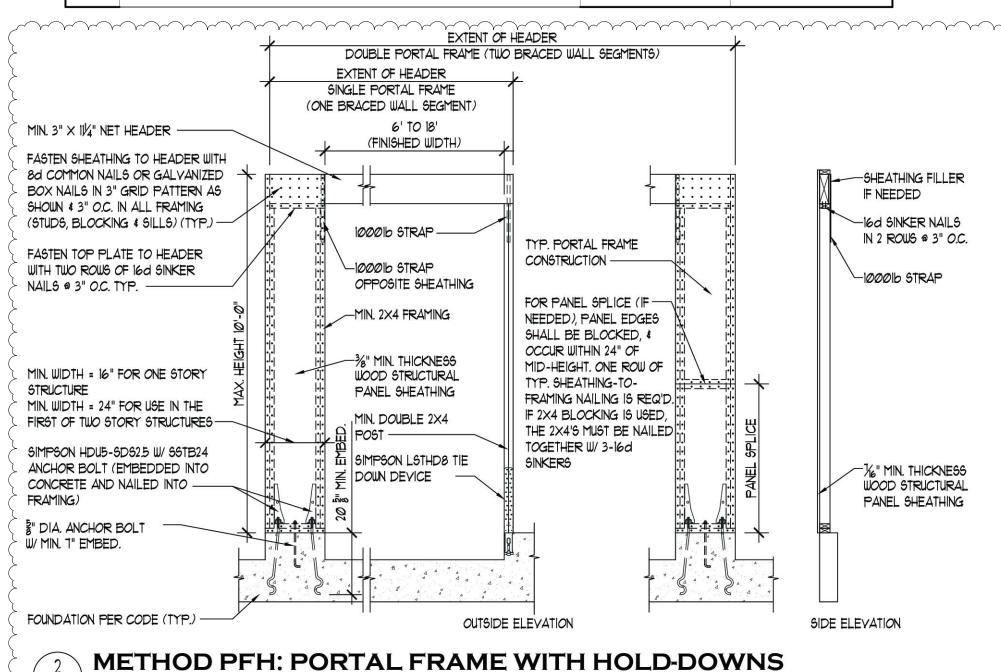
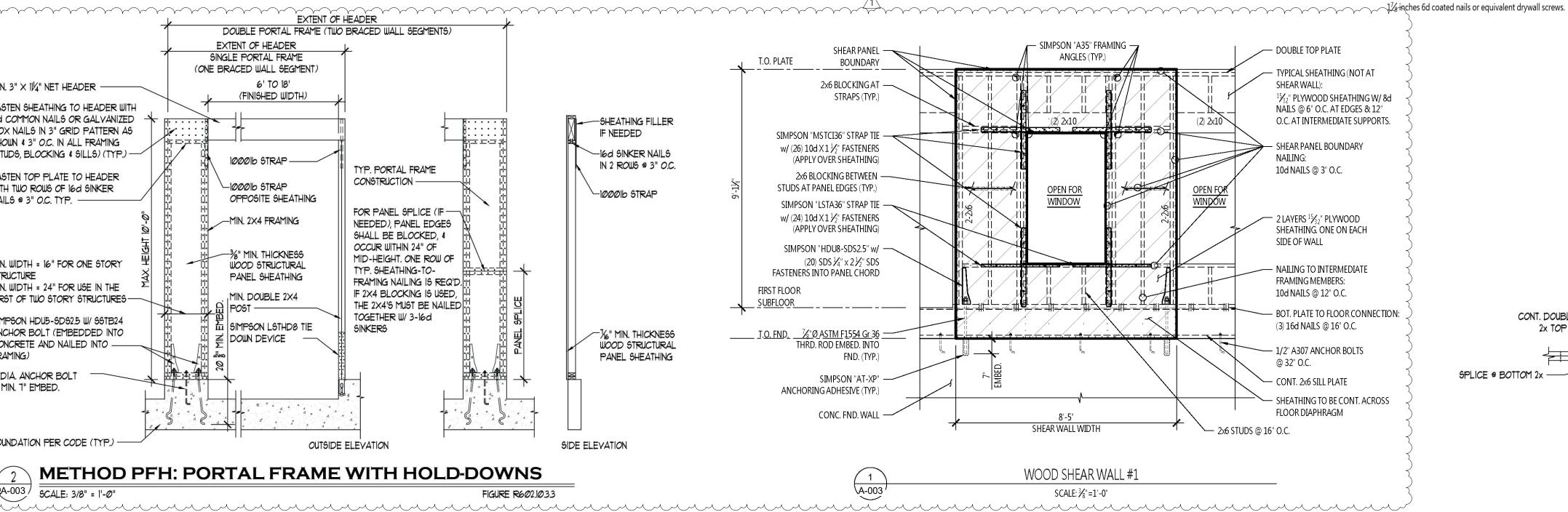
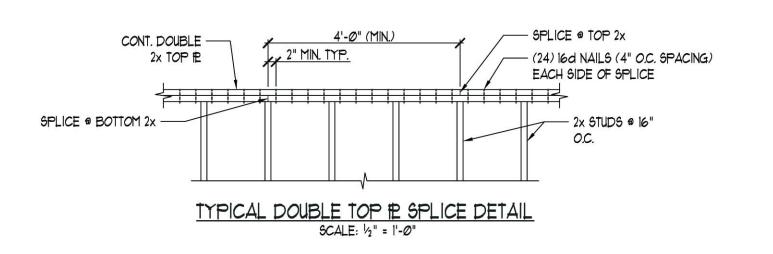


FIGURE R602.10.33



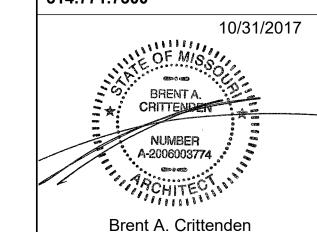


OWNER: **UIC HOMES**

1607 Tower Grove Avenue Saint Louis, Missouri 63110

Central Design Office, LLC

1607 Tower Grove Avenue Saint Louis, Missouri 63110 centraldesignoffice.com 314.771.7300



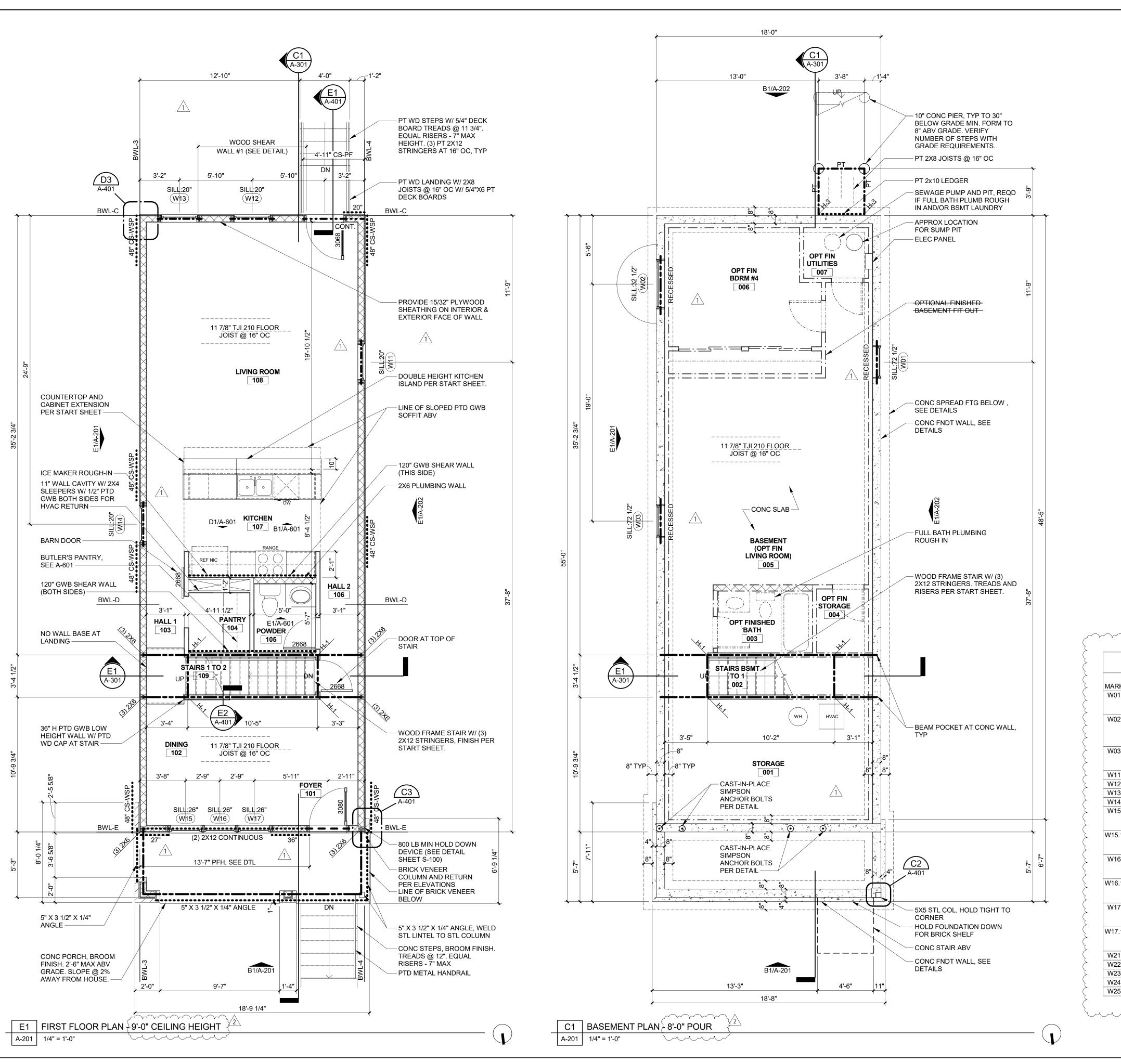
MO# 2006003774

REV DATE DESCRIPTION 1 11/21/17 PERMIT COMMENTS

< Z O

2 4

ISSUE I OCTOB AE

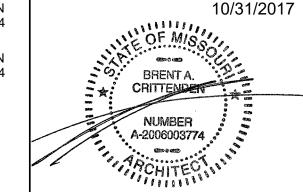


FLOOR PLAN GENERAL NOTES:

- ALL INT PARTITIONS TO BE 3 1/2" (2X4 WOOD STUDS) UNO.
- ALL EXT WALLS TO BE 1/2" OSB SHEATHING ON 5 1/2" (2X6 WOOD STUDS)
- ALL POSTS SHALL BE A MIN 2 2X WALL THICKNESS UNO.
- ALL INT DIMENSIONS SHOWN TO FACE OF STUD FRAMING.
- ALL DIMENSIONS TO EXT WALL SHOWN TO EXT FACE OF SHEATHING.
- ALL INT WOOD DOOR CASINGS PER START SHEET. ALL INT WOOD WALL BASE PER START SHEET.
- DOORS TO BE INSTALLED WITH JAMB 4 1/2" FROM WALL UNO.
- ITEMS SHOWN IN NIC STANDARD LINETYPE ARE NIC UNO. GWB RETURNS AT ALL WINDOWS, TYP.
- WINDOW SILL HEIGHT IS THE SILL HEIGHT OF THE ROUGH OPENING. DRAWINGS ON THIS SHEET SHOW STANDARD CABINET LAYOUT. SEE PROJECT SPECIFIC SHOP DRAWINGS FOR ADDITIONAL INFORMATION
- REGARDING CABINETRY. 13. PROVIDE TWO FROST FREE HOSE BIBS, LOCATION TBD.

FLOOR PLAN LEGEND:

- 2X4 WOOD STUD WALL
- 2X6 WOOD STUD WALL
- STRUCT ABOVE (SEE NOTE)
- **— —** (2) 2X8 ABV **—•—•** (2) 2X10 ABV
- (2) 2X12 ABV
- (2) 1 3/4" X 9 1/4" 2.0E LVL ABV
- (2) 1 3/4" X 11 7/8" 2.0E LVL ABV **—•••** (3) 2X10 ABV
- (3) 1 3/4" X 9 1/4" 2.0E LVL ABV **— — —** (3) 1 3/4" X 11 7/8" 2.0E LVL ABV
- H-1 SIMPSON U410
- H-2 SIMPSON U210-3
- H-3 SIMPSON HUC210-2
- C-1 3"X7.58 LBS/SF ADJ PIPE COLUMN & 42"X42"X12" CONC PAD W/ (4) #4 **BOT BARS EA WAY**
- C-2 3"X7.58 LBS/SF ADJ PIPE COLUMN & 36"X36"X12" CONC PAD W/ (4) #4 BOT BARS EA WAY
- L-1 3 1/2" X 3 1/2" X 5/16" ANGLE



OWNER:

UIC HOMES

1607 Tower Grove Avenue

Saint Louis, Missouri 63110

Central Design Office, LLC

1607 Tower Grove Avenue

Saint Louis, Missouri 63110

centraldesignoffice.com

314.771.7300

REV DATE

MO# 2006003774	

DESCRIPTION

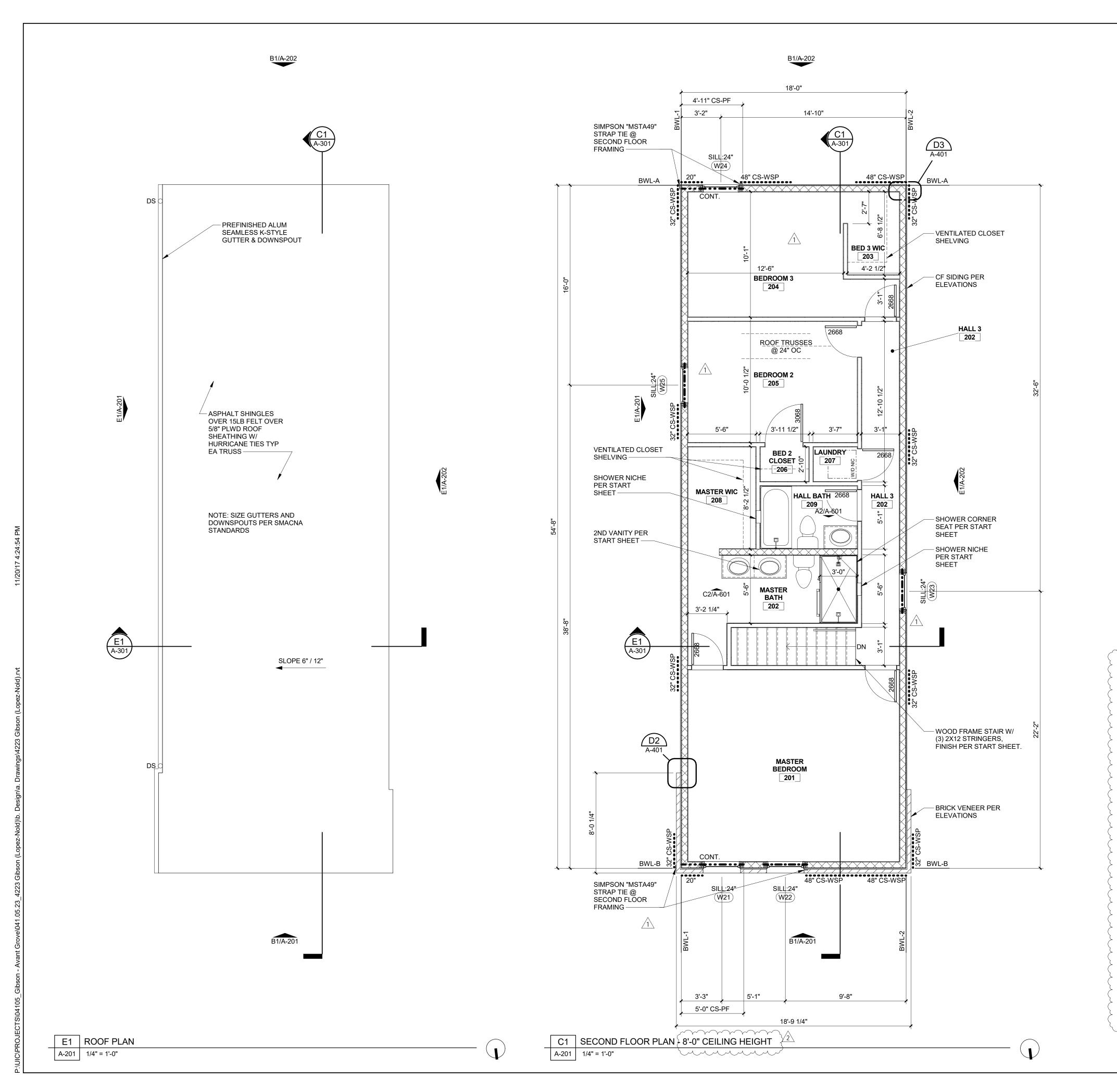
11/21/17 PERMIT COMMENTS

2 11/21/17 BID CLARIFICATIONS

Brent A. Crittenden

					<u>/2\</u>			
$\sim \sim$	~~~	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	~~~~	~~~	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	· · · · · · · · · · · · · · · · · · ·
				V	WINDOW S	SCHEDUL		
MARK	UNIT SIZE	SILL HEIGHT	ROUGH (DPENING H	WINDOW TYPE	FRAME TYPE	REMARKS	MULL SIZE
W01	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	WOLL SIZE
W02	4040	32 1/2"	48 3/4"	48 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR. EGRESS WINDOW.	
W03	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W11	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W12	3050	20"	36 3/4"	60 1/2"	PICTURE	ALUM CLAD		
W13	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W14	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W15	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1 & W16
W15.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15 & W16.1
W16	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15, W17, & W16.1
W16.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1, 17.1 & W16
W17	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16 & W17.1
W17.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16.1 & W17
W21	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W22	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD		
W23	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W24	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W25	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	

SON 422



FLOOR PLAN GENERAL NOTES:

- ALL INT PARTITIONS TO BE 3 1/2" (2X4 WOOD STUDS) UNO.
- ALL EXT WALLS TO BE 1/2" OSB SHEATHING ON 5 1/2" (2X6 WOOD STUDS)
- ALL POSTS SHALL BE A MIN 2 2X WALL THICKNESS UNO.
- ALL INT DIMENSIONS SHOWN TO FACE OF STUD FRAMING.
- ALL DIMENSIONS TO EXT WALL SHOWN TO EXT FACE OF SHEATHING. ALL INT WOOD DOOR CASINGS PER START SHEET.
- ALL INT WOOD WALL BASE PER START SHEET. DOORS TO BE INSTALLED WITH JAMB 4 1/2" FROM WALL UNO.
- ITEMS SHOWN IN NIC STANDARD LINETYPE ARE NIC UNO.
- GWB RETURNS AT ALL WINDOWS, TYP. WINDOW SILL HEIGHT IS THE SILL HEIGHT OF THE ROUGH OPENING.
- DRAWINGS ON THIS SHEET SHOW STANDARD CABINET LAYOUT. SEE PROJECT SPECIFIC SHOP DRAWINGS FOR ADDITIONAL INFORMATION REGARDING CABINETRY.
- 13. PROVIDE TWO FROST FREE HOSE BIBS, LOCATION TBD.

FLOOR PLAN LEGEND:

2X4 WOOD STUD WALL	H-1	SIMPSON U410

ZXXXX 2X6 WOOD STUD WALL

H-2 SIMPSON U210-3 STRUCT ABOVE (SEE NOTE) H-3 SIMPSON HUC210-2

— — (2) 2X8 ABV

& 42"X42"X12" CONC PAD W/ (4) #4 **—•—•** (2) 2X10 ABV **BOT BARS EA WAY** (2) 2X12 ABV C-2 3"X7.58 LBS/SF ADJ PIPE COLUMN

BOT BARS EA WAY

L-1 3 1/2" X 3 1/2" X 5/16" ANGLE

(2) 1 3/4" X 11 7/8" 2.0E LVL ABV **— • • • •** (3) 2X10 ABV

(2) 1 3/4" X 9 1/4" 2.0E LVL ABV

(3) 1 3/4" X 9 1/4" 2.0E LVL ABV **— • • (**3) 1 3/4" X 11 7/8" 2.0E LVL ABV

ARCHITECT:

OWNER:

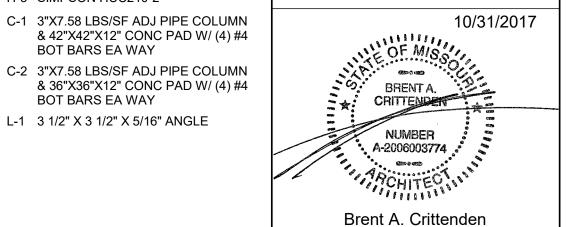
UIC HOMES

1607 Tower Grove Avenue

Saint Louis, Missouri 63110

Central Design Office, LLC

1607 Tower Grove Avenue Saint Louis, Missouri 63110 centraldesignoffice.com 314.771.7300



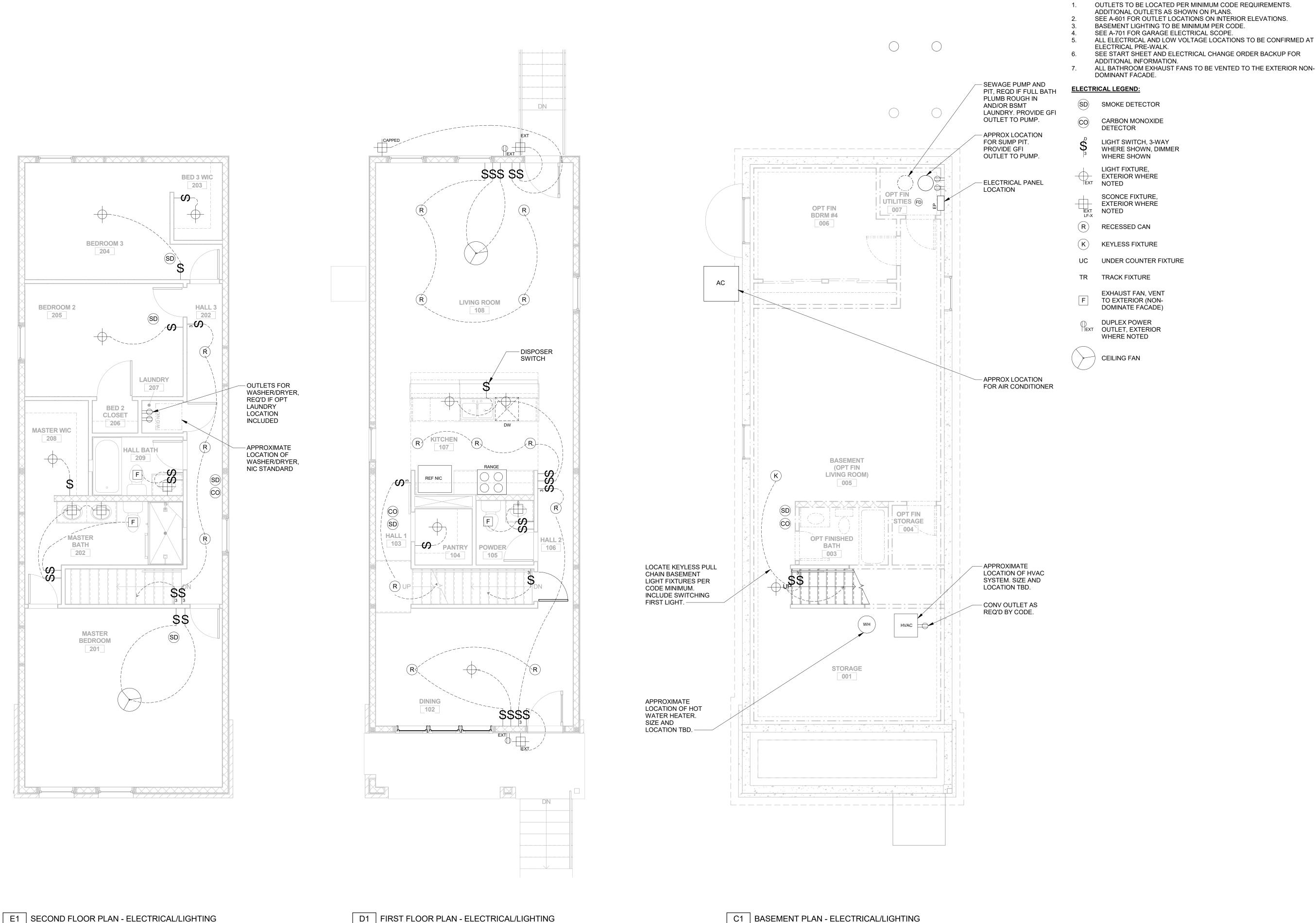
MO# 2006003774

REV	DATE	DESCRIPTION
1	11/21/17	PERMIT COMMENTS
2	11/21/17	BID CLARIFICATIONS
JAL		

				1	WINDOW S	SCHEDULE	Ξ	
MARK	UNIT SIZE	SILL HEIGHT	ROUGH (OPENING H	WINDOW TYPE	FRAME TYPE	REMARKS	MULL SIZE
W01	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	WOLL SIZE
W02	4040	32 1/2"	48 3/4"	48 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR. EGRESS WINDOW.	
W03	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W11	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W12	3050	20"	36 3/4"	60 1/2"	PICTURE	ALUM CLAD		
W13	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W14	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W15	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1 & W16
W15.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15 & W16.1
W16	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15, W17, & W16.1
W16.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1, 17.1 & W16
W17	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16 & W17.1
W17.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16.1 & W17
W21	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W22	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD		
W23	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W24	3050	24"	36 3/4"	60 1/2"	CASEMENT		EGRESS WINDOW	
W25	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	

GIBSON AVE

4223



OWNER:

ELECTRICAL GENERAL NOTES:

UIC HOMES

1607 Tower Grove Avenue Saint Louis, Missouri 63110



ARCHITECT:

Central Design Office, LLC

1607 Tower Grove Avenue Saint Louis, Missouri 63110 centraldesignoffice.com

314.771.7300 10/31/2017 BRENT A. NUMBER A-2006003774

> Brent A. Crittenden MO# 2006003774

DESCRIPTION REV DATE

AVE GIBSON , UIS, MO 63110

4223 SAINT LOU

ISSUE NAME: ISSUE FOR PERMIT
ISSUE DATE: OCTOBER 31, 2017
DRAWN BY: LAE
SHEET NAME: ELECTRICAL / LIGHT
PLANS

A-201 1/4" = 1'-0"

A-201 1/4" = 1'-0"

A-201 1/4" = 1'-0"

