



**FOREST PARK SOUTHEAST  
DEVELOPMENT COMMITTEE**

May 30, 2018

5:30 P.M.

**MEETING AGENDA**

1. **Introductions** .....5 Minutes
2. **Minutes from April 24, 2018** .....2 Minutes
3. **1469 Vandeventer Transgendered Community Garden:** Request for support for  
Conditional Use and Community Support Letter
  - Park Central Presentation.....5 Minutes
  - Business Presentation .....5 Minutes
  - Public Comments.....5 Minutes
  - Committee Comments.....5 Minutes
4. **4438-4440 Swan:** Request for Community Support and Demolition of an existing structure
  - Park Central Presentation.....5 Minutes
  - Business Presentation .....5 Minutes
  - Public Comments.....5 Minutes
  - Committee Comments.....5 Minutes
5. **4156 Manchester:** Request for Community Support Letter
  - Park Central Presentation.....5 Minutes
  - Business Presentation .....5 Minutes
  - Public Comments.....5 Minutes
  - Committee Comments.....5 Minutes
6. **805 Vandeventer:** Review of Requested Changes to the project from 11-28-17 Meeting
  - Park Central Presentation.....5 Minutes
  - Business Presentation .....5 Minutes
  - Public Comments.....5 Minutes
  - Committee Comments.....5 Minutes
7. **4223 Gibson:** Request for Community Support Letter
  - Park Central Presentation.....5 Minutes
  - Business Presentation .....5 Minutes
  - Public Comments.....5 Minutes
  - Committee Comments.....5 Minutes
8. **Closed Session** .....20 Minutes



**FPSE Development Committee Meeting Minutes**  
**April 24, 2018 at 5:30 pm**  
**at 4512 Manchester, St. Louis, MO 63110**

**Committee members in attendance:** Guy Slay, John Boldt, Brian Phillips, Mark Mangapora, Tom Ernst, Sharon Blaine, Patrick Brown, Kasan Moore

**Committee members not present:** Meredith Jones, Patrice Willis, David Wolfe

**Staff in attendance:** Abdul Abdullah and Annette Pendilton

**Others in attendance:** Jodie Allen, Ron Coleman

**1. Call to Order:**

J. Boldt called the meeting to order at 5:31 pm.

**2. Minutes from November 28, 2017**

B. Phillips motioned to approved November 28, 2017 meeting minutes. Guy Slay seconded. Minutes approved 7-0-1 with Patrick Brown abstaining.

**3. A. Abdul announced that there are three new board members. He also stated that because of the new Form Based Code, there will be a lot of zoning changes and there will be different meetings in the future because of these changes.**

A. Abdul is also requesting a meeting in May due to there will be four to six requests that will be coming before the board.

**4. 4366 Manchester: Request for support for Conditional Use**

A. Abdul presented the request as follows:

The site address is 4366 Manchester, St. Louis, MO 63110. Company name is Fresh Art Photography and is requesting a support letter for a Conditional Use hearing. The company owner is Jodie Allen. Building owner is Austin Barazantny. The site was previously the home to Mission St. Louis. The site has been vacant since 2016. The site is now utilized as a rental commercial space by the Grove Properties.

The owner of Fresh Art Photography, Jodie Allen, is seeking to move her business from her current location in Webster Groves to 4366 Manchester. The functions and activities this business will conduct in this space are photographing new born babies, children, families and personal branding head shots, as well as host meetings and workshops on photography. Square footage is 1,325 square foot of retail space.

Current Zoning is Neighborhood Center Type 1 – under the FPSE Form Based Code the area is zoned for primary retail use on the first floor. The code list prohibited retail uses and allowable retail uses. Any retail use not mentioned by name is classified as a conditional use. The use requested is not mentioned or listed and is defaulted to a conditional use.

Project timeline is Conditional Use Hearing with City of St. Louis is May 10, 2018.

Expected opening date is May 14, 2018. Occupancy capacity is 25 people.

History of business and experience, the owner, Jodie Allen, has been a professional photographer since 2006 and started Fresh Art Photography in 2009. The business has no known violation or nuisance issues in its current location in Webster Groves.

A Abdul stated that the Park Central staff recommendation is to support the proposed conditional use proposed by Fresh Art Photography with the following conditions:

A. Agree to sign the Grove Good Neighbor Agreement

## **5. Business Presentation**

J. Boldt opened up the meeting to hear from owner as well as any public comments. Jodie Allen stated that she has been taking pictures professionally for 10 years been in business in Webster Groves for about five years. Her dream has been a store front and wanted to be in the city and to have natural light. She specialize in newborns, children, maternity, head shots personal branding for small businesses, loves her job. Work with businesses, excited about moving in the area and getting to know the businesses. She really wants to move into the Grove area and is hoping the board will approve the support.

## **6. Public/Committee Comments**

B. Phillips asked how many employees do you? Jodie Allen answered technically it's just her but do contract one employee as an assistant. Only need the space to shoot pictures.

B. Phillips asked if there will be retail sales? Jodie Allen responded that her business is registered in the Grove and purchases made at the store will be retail. She also said that she will rent out space to other photographers.

B. Phillips asked about general working hours? Jodie Allen responded 9:00 am – 1:00 pm Monday through Friday, holiday hours specials and weekends. Workshops or meetings will be in the evenings.

P. Brown stated that he read that head shots for social media is up and wanted to know if it was for her business. Jodie Allen answered that they have.

M. Mangapora asked if she would be adding any signage or graphics in the window? Jodie Allen answered will hang a pendant lamp with transit numbers and a decal on the main windows.

## **7. Closed Session**

There was a motion made by J. Boldt to grant a letter of support for conditional use for 4366 Manchester. The motion was seconded by G. Slay. The motion passed 8-0-0.

## **8. Next meeting will May 30, 2018 at 5:30 pm. Meeting adjourned at 5:54 pm.**

## Transgendered Community Garden Expansion Conditional Use Approval

**Site Address:** 1469-73 Vandeventer , 1475-83 Vandeventer , 1485-87 Vandeventer, 4216-22 Hunt

**Company Name:** Metro Trans Umbrella Group of St. Louis, Inc. (aka “MTUG”)

**Request:** Support letter for a Conditional Use hearing. Approval for permanent establishment of the Transgender Memorial Garden at the corner of Hunt and Vandeventer Aves., requiring the acquisition of City-owned and privately-owned parcels of land.

**Contact Person(s):** Jodie Allen Jaimie Hileman, Transgender Memorial Garden Leadership Team; Elaine Brune, MTUG Board President

**Mailing Address:** N. Skinker Blvd., St. Louis, MO 63130

**Company Owner(s) / Principal(s):** Sayer Johnson, Executive Director MTUG STL; Elaine Brune, President, Board of Directors, MTUG STL

### **Project Information**

**Building Owner:** Austin Barzantny, President of Grove Properties

#### **History of Site:**

The Garden was designed and planted in spring 2015. It has since been maintained and improved by the Transgender Memorial Garden Leadership Team through regularly scheduled maintenance activities and community-building work days. Four parcels are owned by LRA; two parcels are owned by private entities. The Garden is the only one of its kind in the United States

#### **Proposed Project/Business:**

The goal of this request is to secure the future of the Transgender Memorial Garden by acquiring the publicly and privately-owned parcels on which the Garden currently sits and realizing the original design (completing the perennial borders, improving the hardscape of the central path, and adding a garden shed to store equipment).

#### **Square footage of Project:**

20,000 square feet



## Transgendered Community Garden Expansion Conditional Use Approval

### **Current Zoning:**

B2 (Boulevard Type 2 (B2) The code list prohibited retail uses and allowable retail uses. The use requested is not mentioned specifically as a permitted or prohibited use and is therefore classified as a conditional use. This conditional use will be classified under section 5.3 Civic/Institutional Uses table page 5-1 of the Forest Park South East Form Based code.

### **Project Timeline:**

MTUG will begin negotiations with land owners and launch a capital campaign immediately after approval by the various civic, legislative, and regulatory authorities. Completion of capital campaign and purchase of parcels is anticipated within one year. Land improvements will commence immediately upon securing land titles. Final project will be completed within two years.

### **History of Business and Experience**

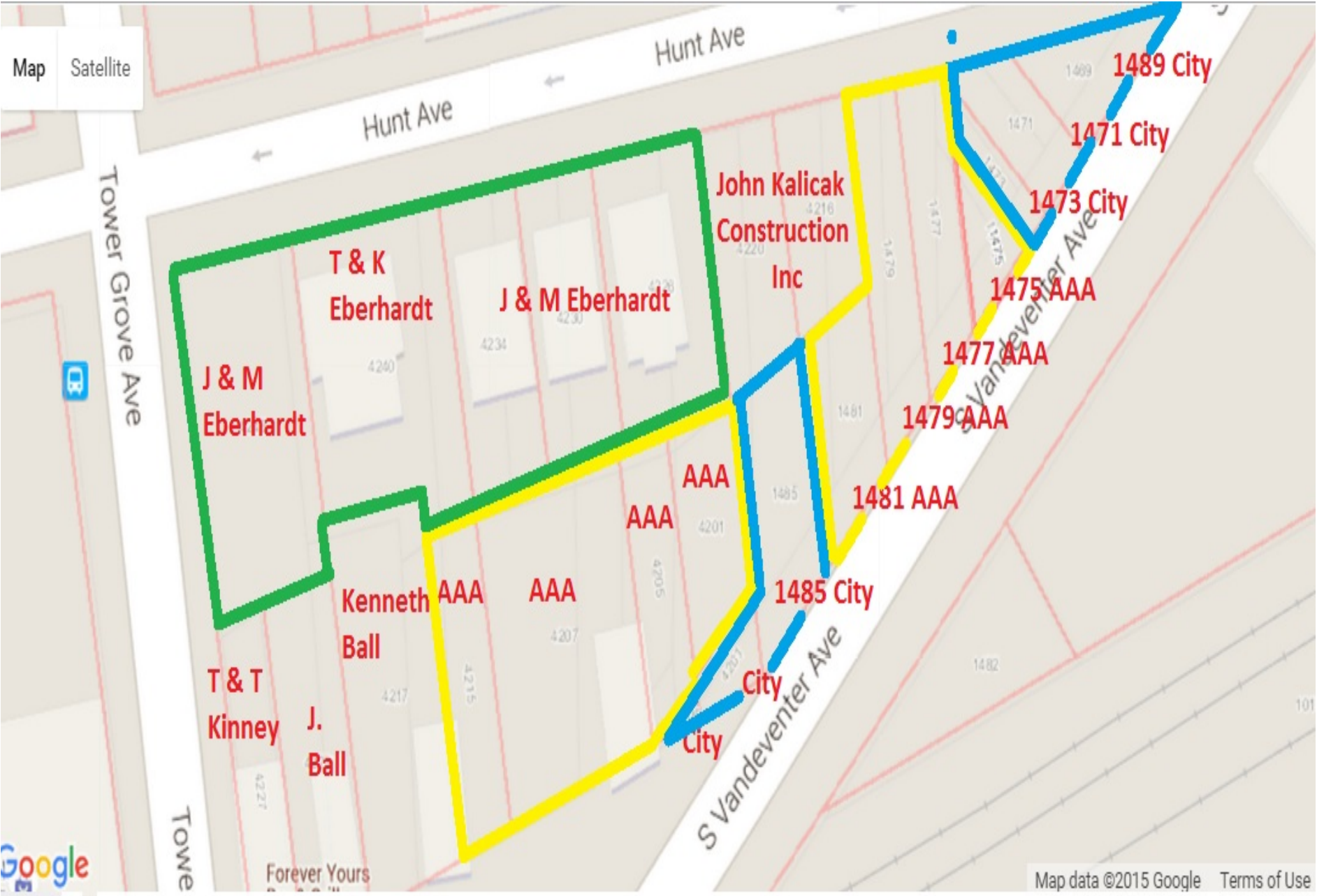
Employees and volunteers of MTUG (along with other organizations) have created and maintained the Transgender Memorial Garden for three years. The Garden's Leadership Team consists of a Missouri Master Gardener, and members and volunteers with years of experience with outdoor gardening and landscaping, project development, real estate, non-profit management, event management, grant writing, and fundraising. MTUG also has a successful track record of fundraising throughout the year.

### **Park Central Staff Recommendation**

Support the proposed conditional use proposed by MTUG with the following conditions:

1. Agree to sign the Grove Good Neighbor Agreement.
2. Upon approval provide a maintenance plan for the upkeep of the park

Property Location



## Transgendered Community Garden Expansion Conditional Use Approval

### Current Property (viewed from Vandeventer)



4438-4440 Swan Avenue

**Site Address:** 4438-4440 Swan Avenue

**Request:** Request for Community Support for this project and Demolition of an existing structure

**Company Name:** Series Prop 1A of HFC Properties LLC

Contact Person(s): Patrick Jackoway, Mark Mangapora (AD:Arch)

**Mailing Address:** 1069 Pinrun Dr. Ballwin, MO 63011

**Company Owners / Principals:** Patrick Jackoway

### **Project Information**

#### **History of site**

4438: Vacant lot (1-story masonry house demolished in 1998)

4440: 1-story masonry house constructed in 1899

#### **Proposed Project**

The proposed project consists of (2) single-family attached homes in the style of a modern infill townhouse. The center dividing wall will be located on the property line between 4438 and 4440 Swan Ave. 4438 Swan Ave is a vacant lot, and will request demolition of the small 1-story house at 4440 Swan Ave. Each home will have open living, dining and kitchen spaces on the first level with (2) bedrooms, full bathroom and laundry on the second level. A master suite and roof deck will on the third level. The third level floor plans for each property are opposite so that one master suite faces Swan Ave and one side faces the rear of the property. This reduces the overall mass of the building and adds additional privacy to the roof decks. Each basement is designed for a conversion to a separate and legal 1-bedroom apartment should the future owners want to pursue their own tenants for additional rental income.

#### **Parking**

Each site will have a 2-car carport located at the rear of the site off the alley. They will not be visible from the street.

4438-4440 Swan Avenue

### **Current Zoning**

Neighborhood General Type 2 (NG2)

### **Project Costs:**

Acquisition:	\$ 20,000
Pre-development Soft Cost:	\$ 15,000
Construction Cost:	\$506,000
Total:	\$531,000

### **Project Timeline:**

Site Control:	December 2017
Construction Start:	Summer/Fall 2018
Construction Complete:	Spring 2019
Occupancy:	Spring 2019

### **Relevant Experience**

The AD: Arch has designed and completed numerous projects throughout STL City including new residential modern infill, residential & commercial historic preservation, multi-family & institutional buildings.

**Will the project seek financial incentives from the City of St. Louis?** The project will be asking the City of St. Louis for a 100% tax abatement for 5 Years per property for the buyers of each unit.

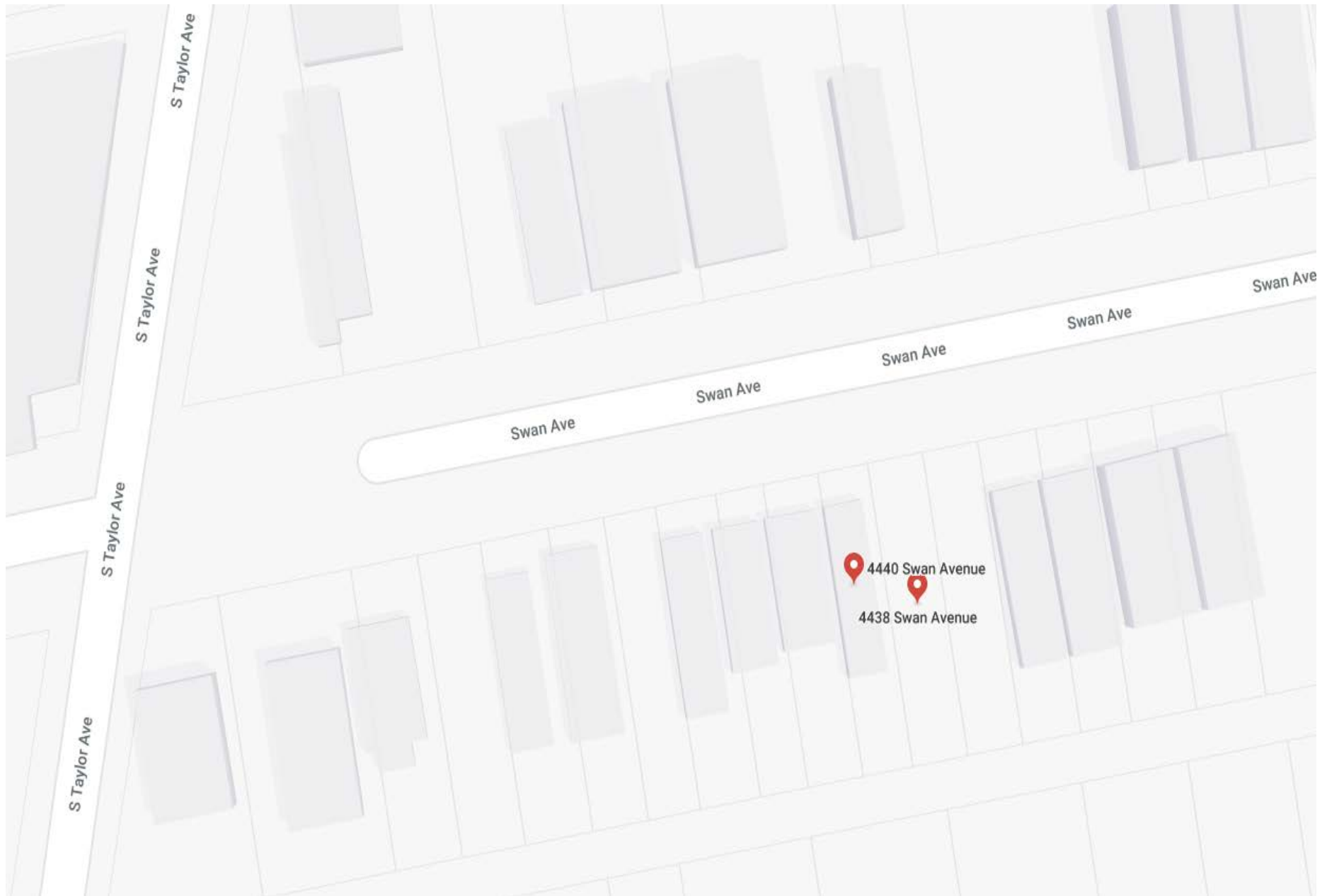
**Park Central Recommendation**

Park Central Development recommends support of the project with the following conditions:

1. Any changes to the site plans that requires a variance should be brought before the FPSE Development Committee for review.
2. The demolition of the existing building be cleared through the City of St. Louis Department of Cultural Resources.
- 3.. The project repair and replace in public infrastructure that is impacted by this project.

4438-4440 Swan Avenue

### Site Map





4438-4440 Swan Avenue

**Property (Current Exterior)**





NEW CONSTRUCTION  
ATTACHED SINGLE-FAMILY HOMES

4438-40 SWAN AVENUE, SAINT LOUIS, MO 63110

PROJECT INFO:

**OWNER CONTACT:** PATRICK JACKOWAY  
(314) 575-6080  
COUNTYTIREANDAUTO □ ATT.NET

**ARCHITECT:** ANTHONY DUNCAN ARCHITECT LLC  
4527 VIRGINIA  
ST. LOUIS, MO 63111  
314-832-3350

4438 SWAN SITE INFO:

**LOT:** 1,900 SF  
**FOOTPRINT:** 714 SF  
**REAR YARD:** 940 SF  
**CARPORT:** 370 SF (39.4% OF REAR YARD)  
**TOTAL SQ. FT.** 2,520 SF (INCLUDING BSMT.)

DRAWING INDEX:

- A1 PROJECT INFO, SITE & ROOF PLANS
- A2 BASEMENT & FIRST LEVEL PLANS
- A3 SECOND & THIRD LEVEL PLANS
- A4 FRONT & REAR ELEVATIONS
- A5 SIDE (WEST) ELEVATION
- A6 SIDE (EAST) ELEVATION
- A7 CARPORT ELEVATIONS & SECTION

4440 SWAN SITE INFO:

**LOT:** 1,900 SF  
**FOOTPRINT:** 714 SF  
**REAR YARD:** 940 SF  
**CARPORT:** 370 SF (39.4% OF REAR YARD)  
**TOTAL SQ. FT.** 2,520 SF (INCLUDING BSMT.)

BUILDING DATA:

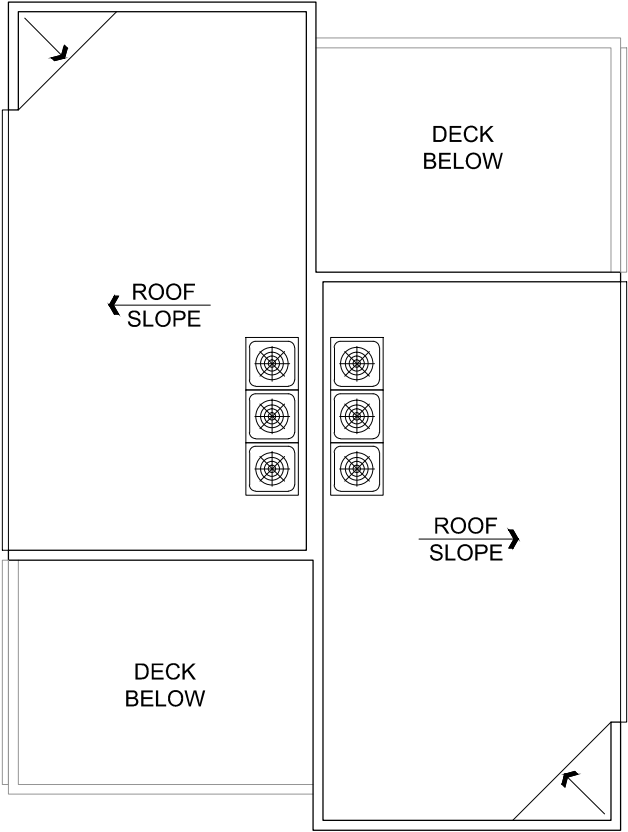
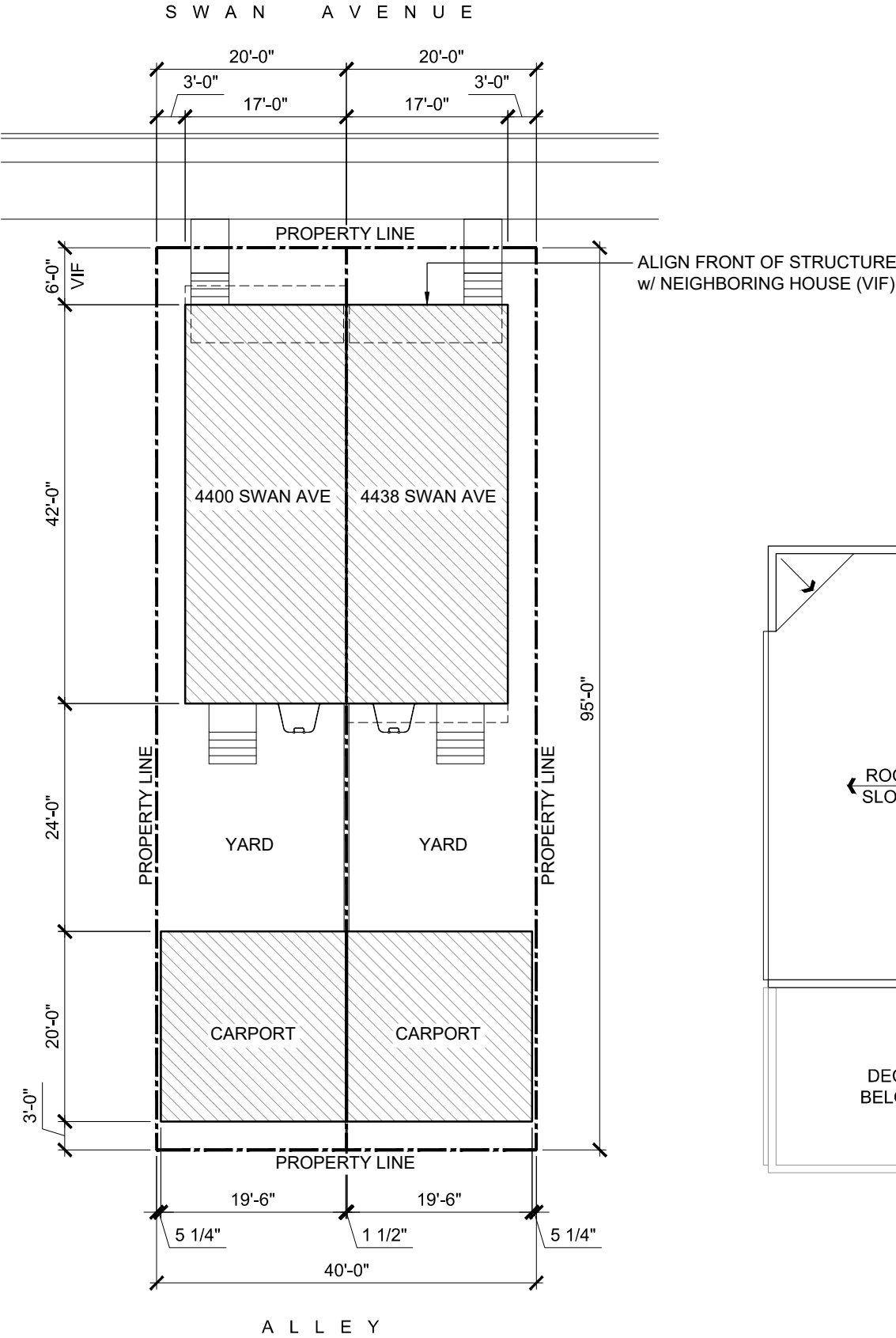
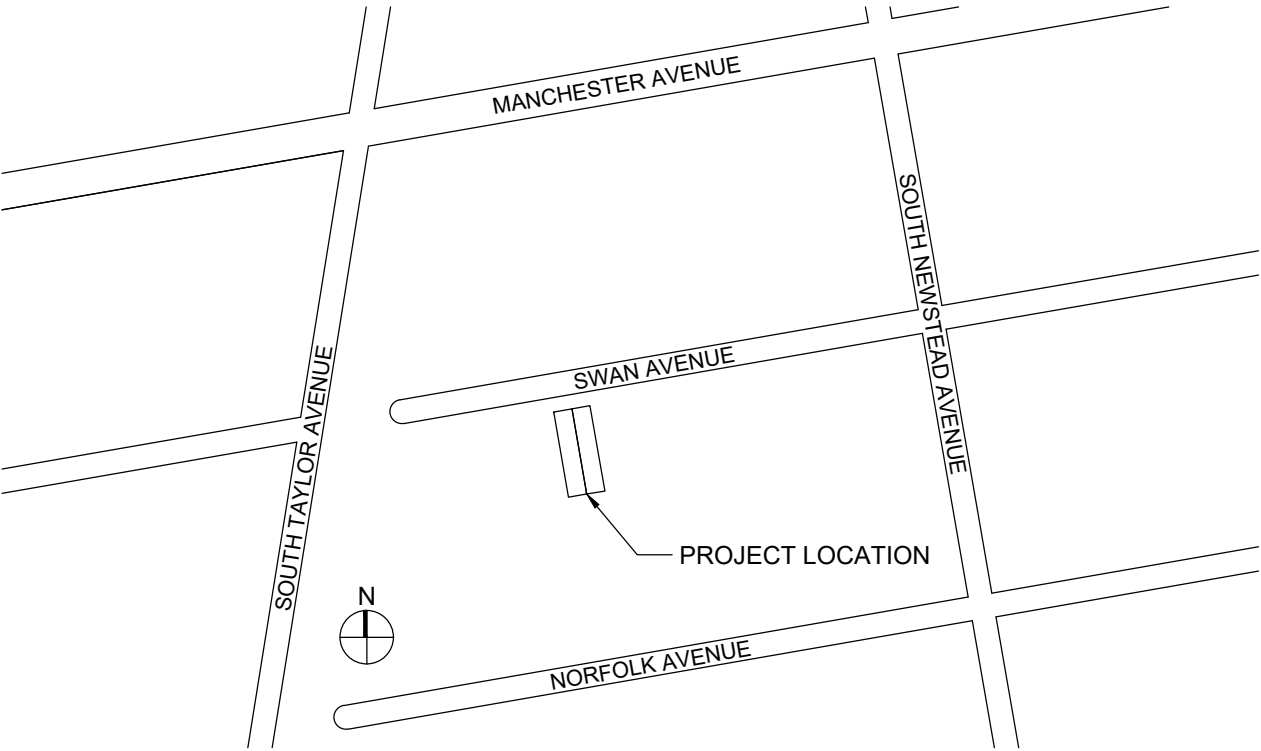
**MUNICIPALITY:** CITY OF ST. LOUIS, MISSOURI

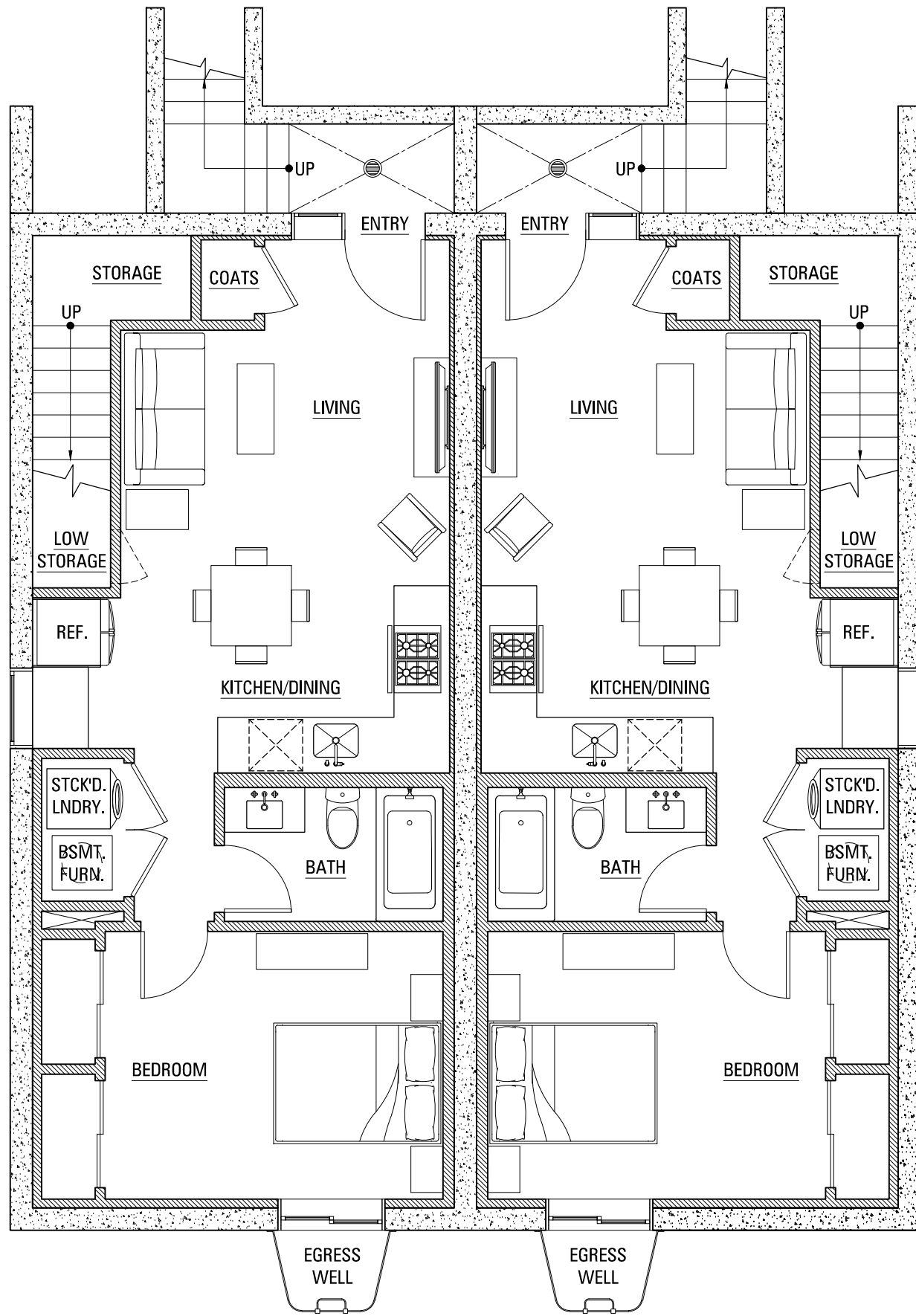
**BUILDING CODE:** 2009 INTERNATIONAL BUILDING CODE  
2009 INTERNATIONAL EXISTING BUILDING CODE  
2009 INTERNATIONAL RESIDENTIAL CODE  
2008 NATIONAL ELECTRICAL CODE  
2009 INTERNATIONAL FIRE CODE  
2009 INTERNATIONAL MECHANICAL CODE  
2009 INTERNATIONAL PLUMBING CODE  
2009 INTER. PROPERTY MAINTENANCE CODE

**USE GROUP CLASSIFICATION:** SINGLE-FAMILY RESIDENTIAL

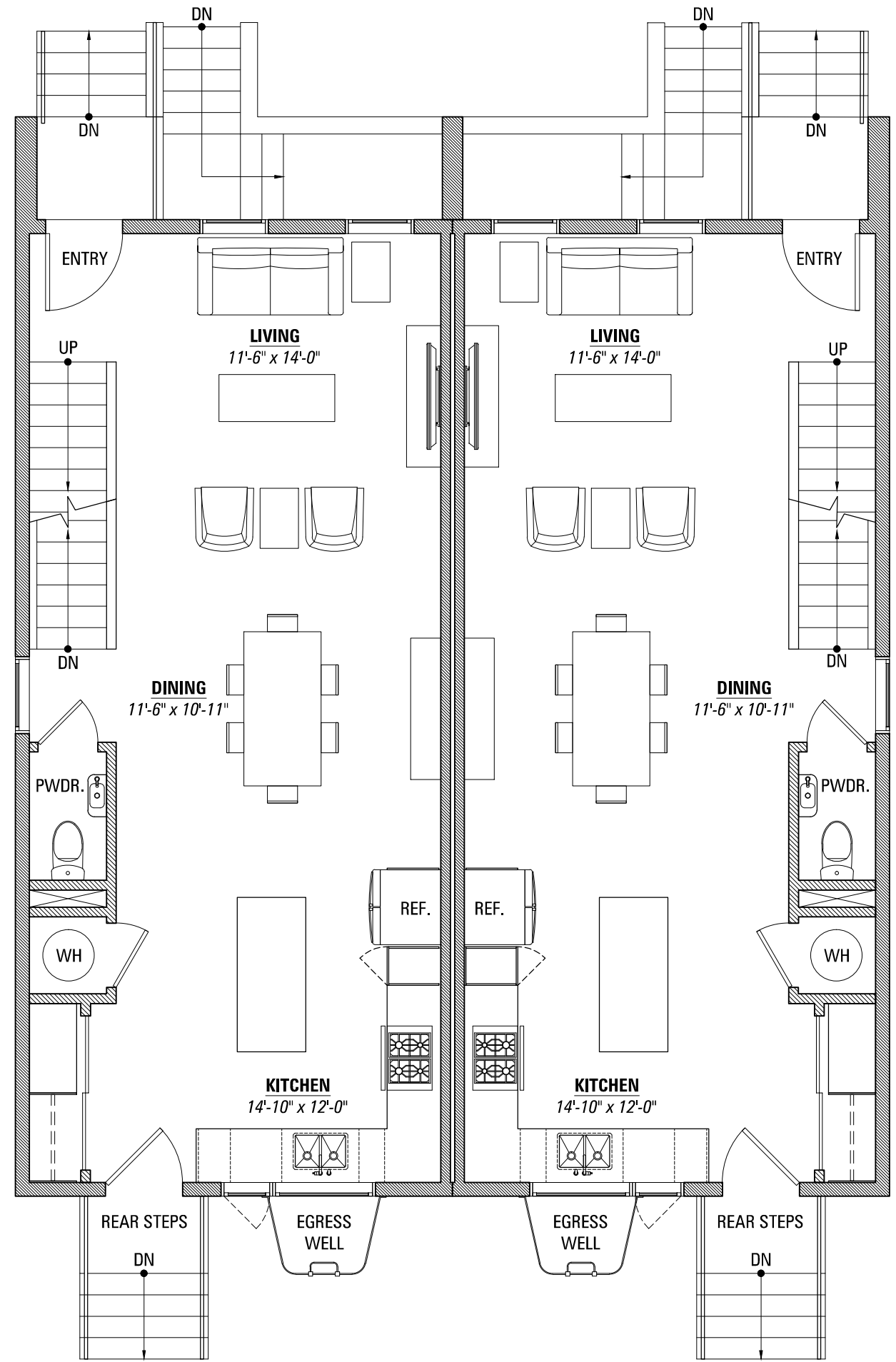
**CONSTRUCTION CLASSIFICATION:** 5B, NONCOMBUSTIBLE/COMBUSTIBLE, UNPROTECTED

LOCATION MAP:





**1 BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"



**2 FIRST LEVEL PLAN**  
SCALE: 3/16" = 1'-0"

A2

SHEET NAME: FIRST & SECOND LEVEL PLANS

SCALE: AS NOTED  
DATE: 01 MARCH 2018

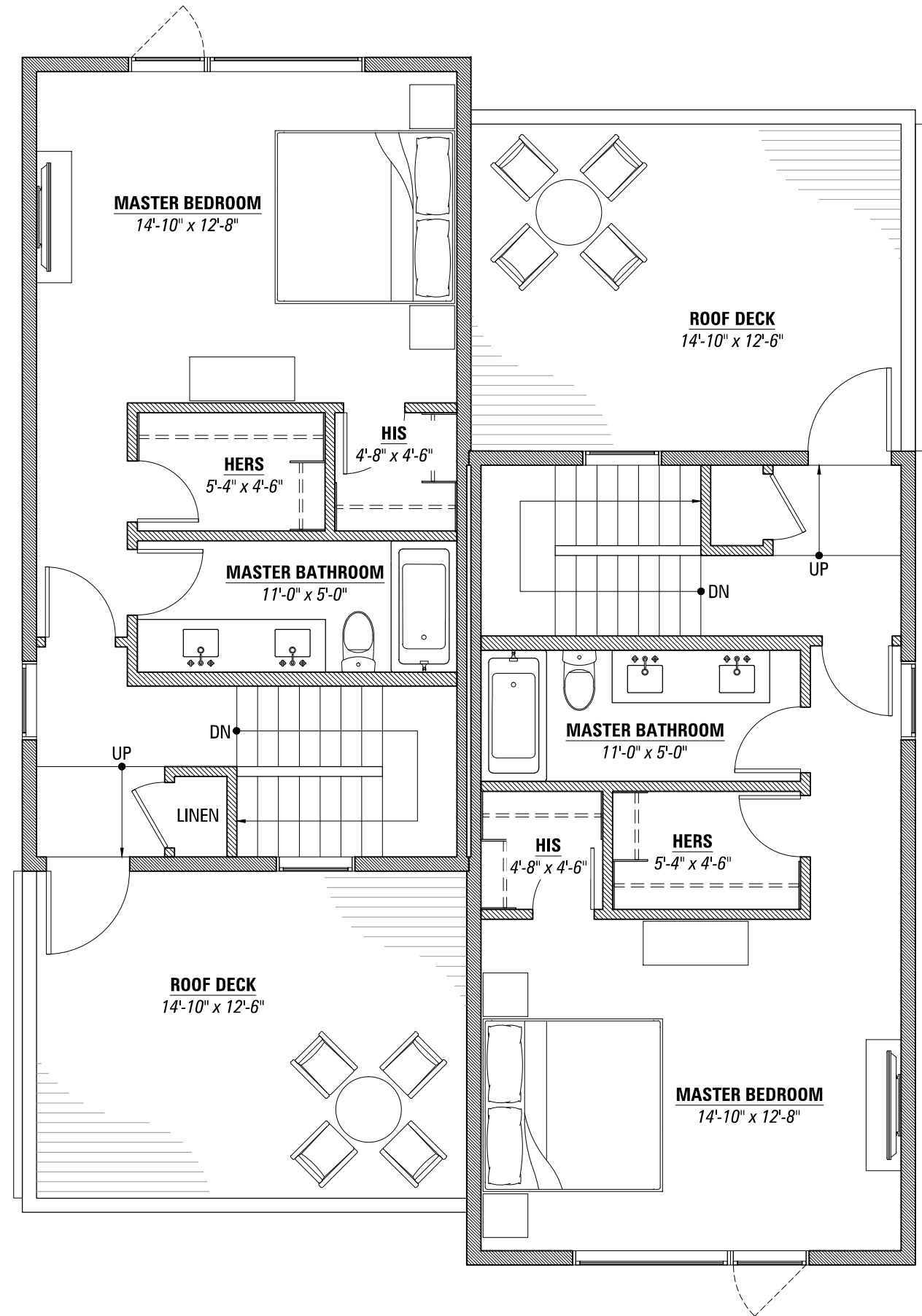
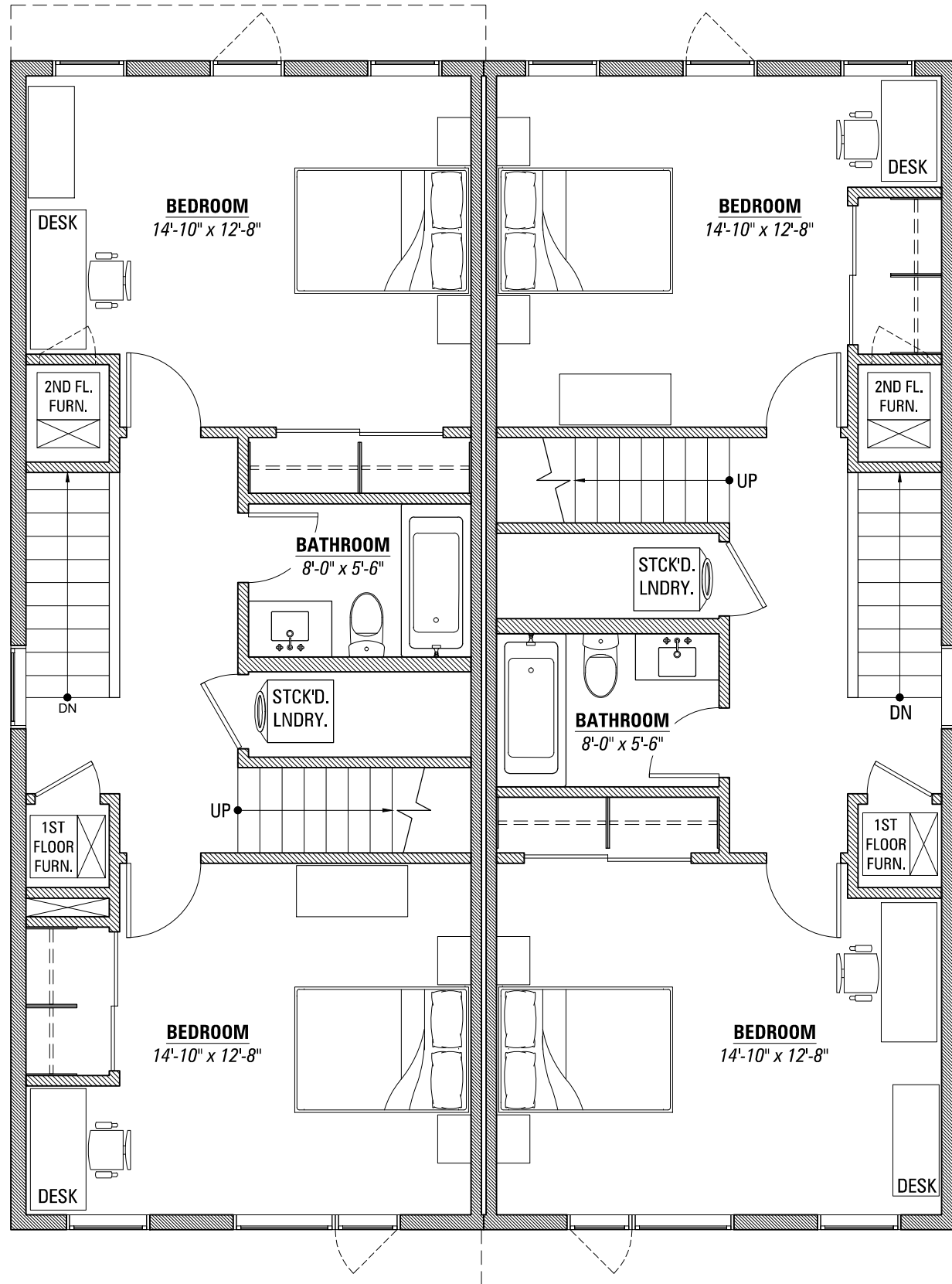
ISSUE: ZONING ONLY APPLICATION

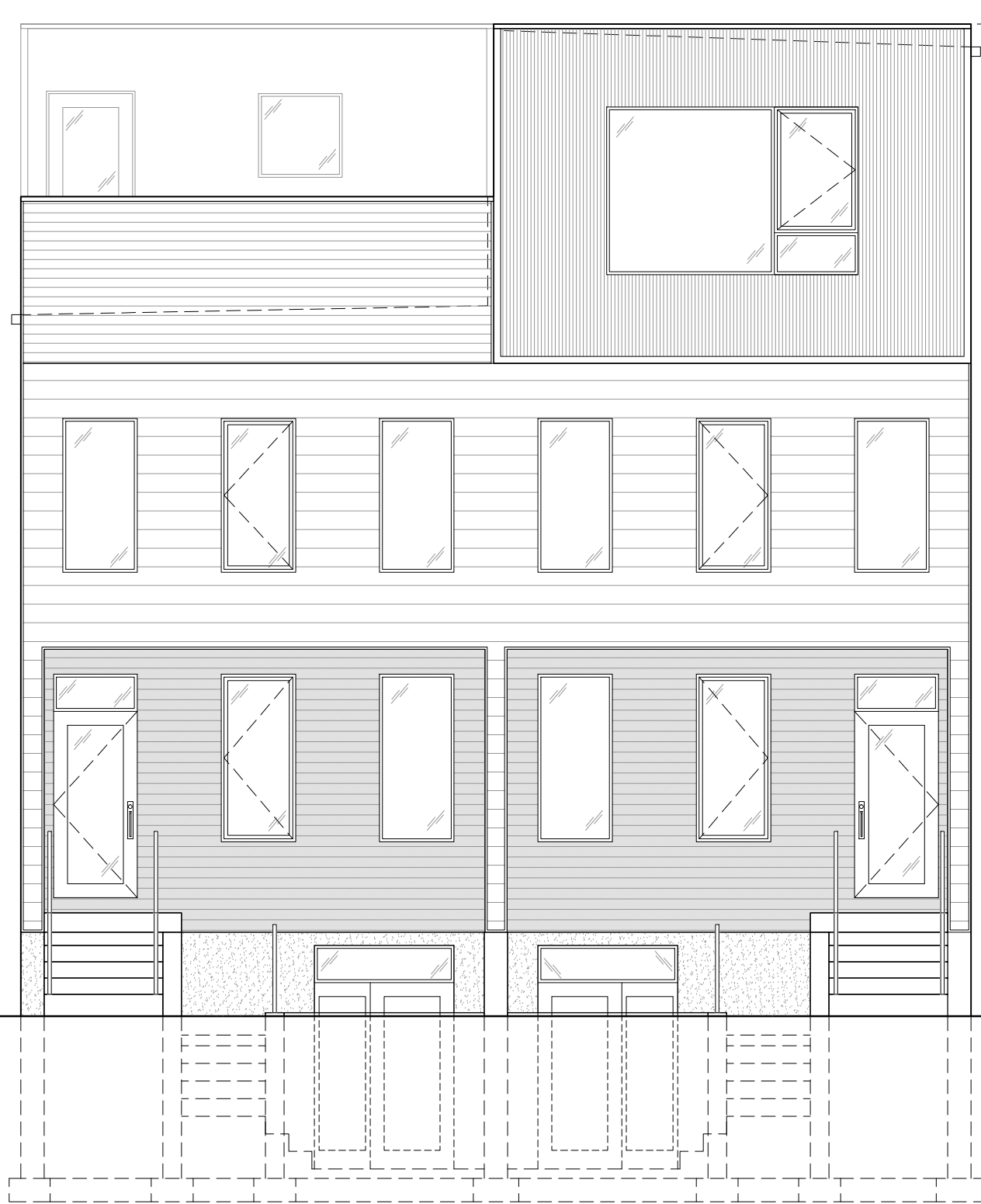
NOT FOR CONSTRUCTION

Attached Single-Family Homes

4438-40 Swan Avenue  
Saint Louis, MO 63110

AD:ARCH  
Anthony  
Duncan  
Architect  
4627 Virginia Avenue  
St. Louis, MO 63111





T/ PARAPET  
ELEV: 131'-3"

THIRD LEVEL  
ELEV: 120'-3 1/2"

SECOND LEVEL  
ELEV: 110'-1 3/4"

FIRST LEVEL  
ELEV: 100'-0"

GRADE  
ELEV: 95'-9"

BSMT. LEVEL  
ELEV: 90'-1"

35'-6"

1 FRONT (NORTH) ELEVATION  
SCALE: 3/16" = 1'-0"



2 REAR (SOUTH) ELEVATION  
SCALE: 3/16" = 1'-0"

A4

SHEET NAME: FRONT & REAR ELEVATIONS

SCALE: AS NOTED  
DATE: 01 MARCH 2018

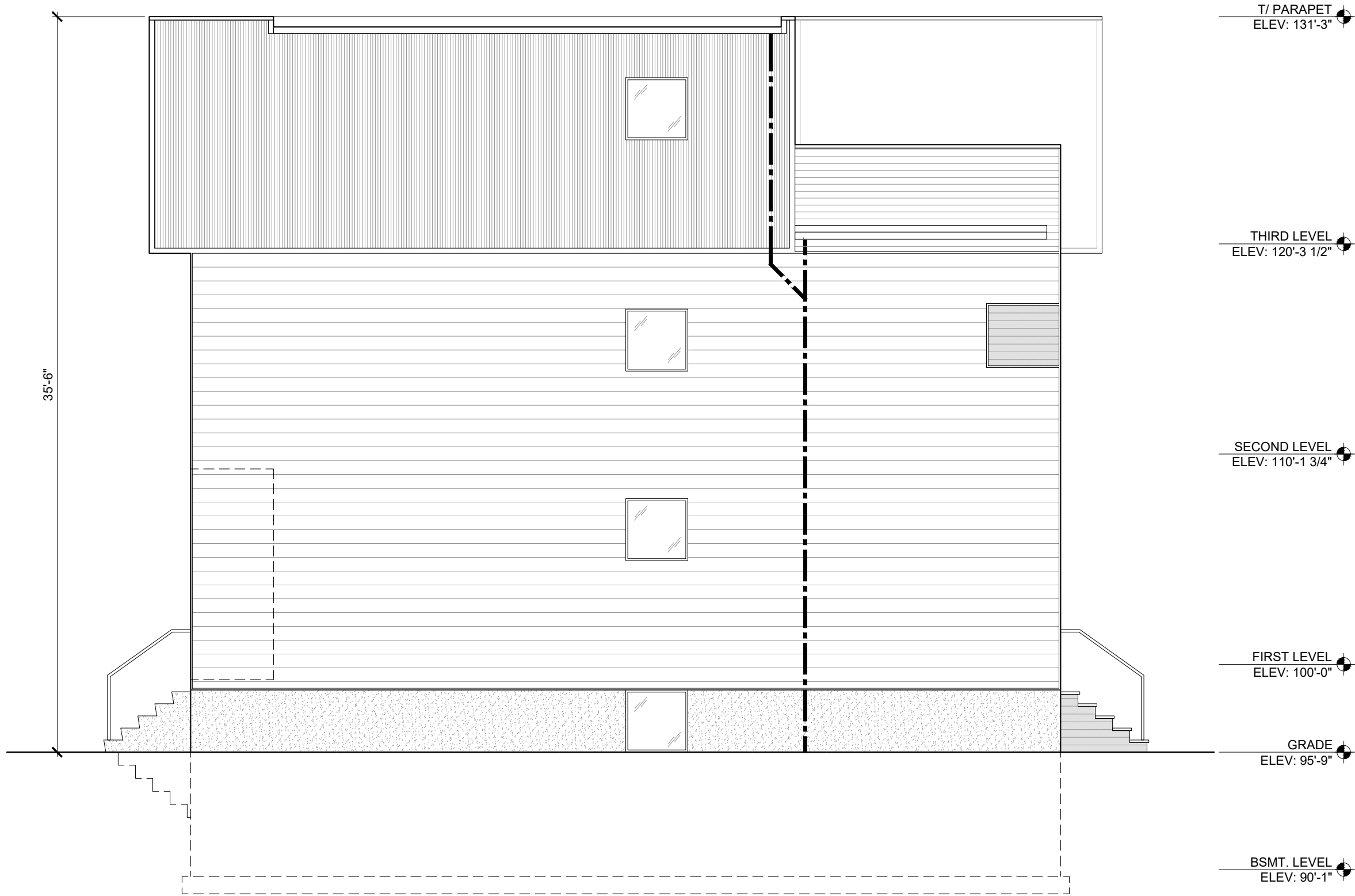
ISSUE: ZONING ONLY APPLICATION

NOT FOR CONSTRUCTION

Attached Single-Family Homes

4438-40 Swan Avenue  
Saint Louis, MO 63110

AD:ARCH  
Anthony  
Duncan  
Architect  
4627 Virginia Avenue  
St. Louis, MO 63111



1 SIDE (WEST) ELEVATION  
SCALE: 3/16" = 1'-0"

A5

SHEET NAME: SIDE (WEST) ELEVATION

SCALE: AS NOTED

DATE: 01 MARCH 2018

ISSUE: ZONING ONLY APPLICATION

NOT FOR CONSTRUCTION

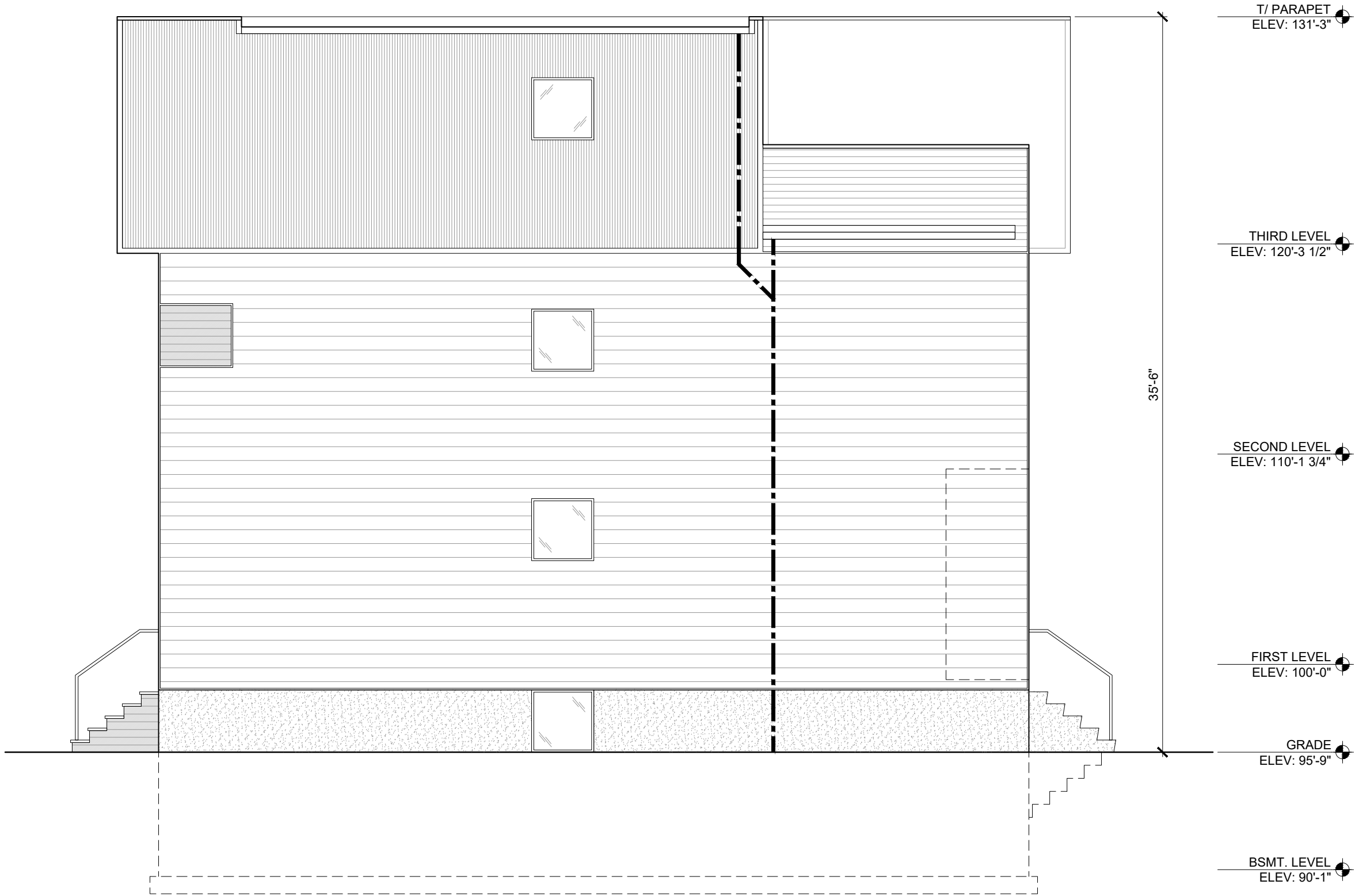
Attached Single-Family Homes

4438-40 Swan Avenue

Saint Louis, MO 63110

AD:ARCH  
Anthony  
Duncan  
Architect

4627 Virginia Avenue  
St. Louis, MO 63111



1 SIDE (EAST) ELEVATION  
SCALE: 3/16" = 1'-0"

A6

SHEET NAME: SIDE (EAST) ELEVATION

SCALE: AS NOTED

DATE: 01 MARCH 2018

ISSUE: ZONING ONLY APPLICATION

NOT FOR CONSTRUCTION

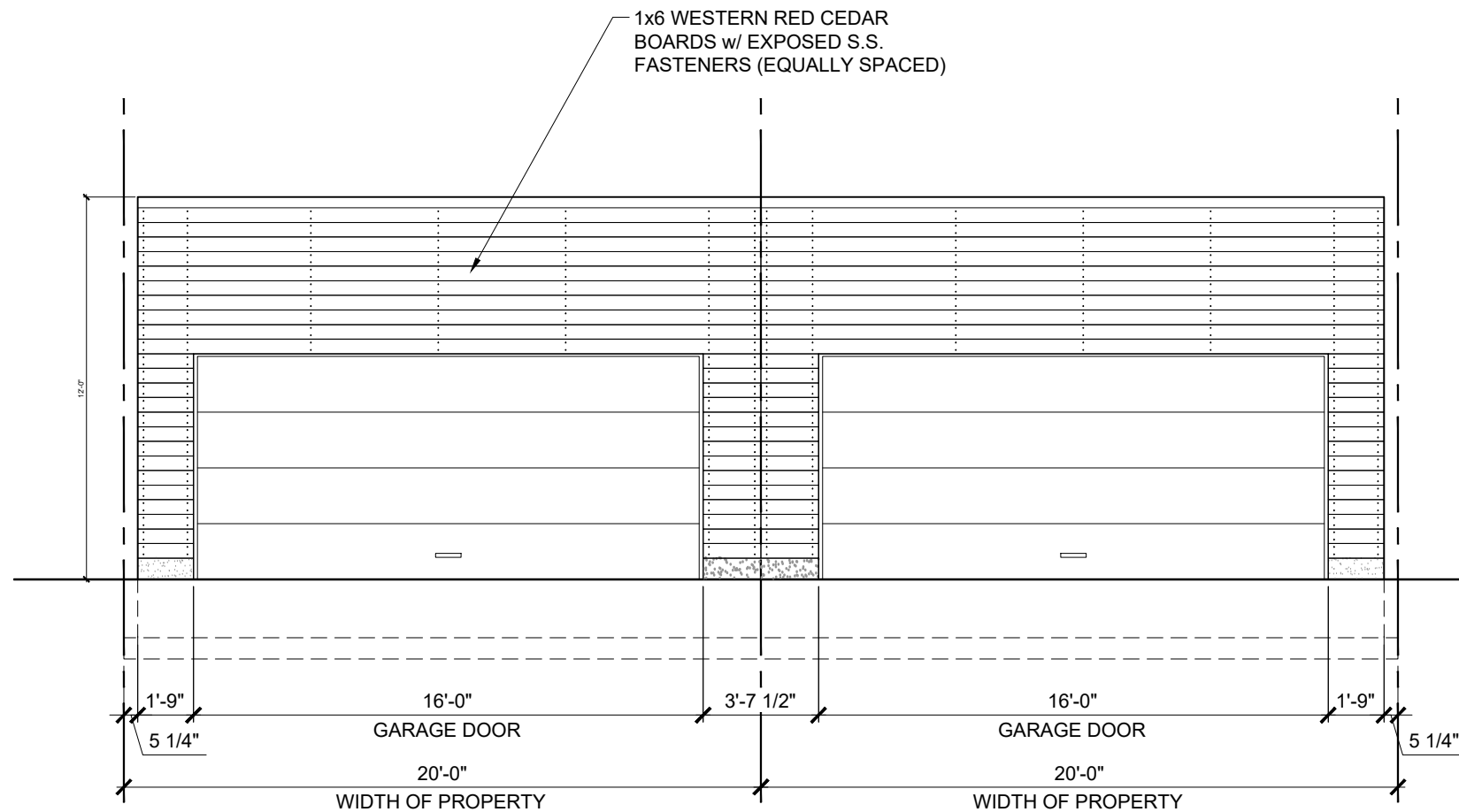
Attached Single-Family Homes

4438-40 Swan Avenue

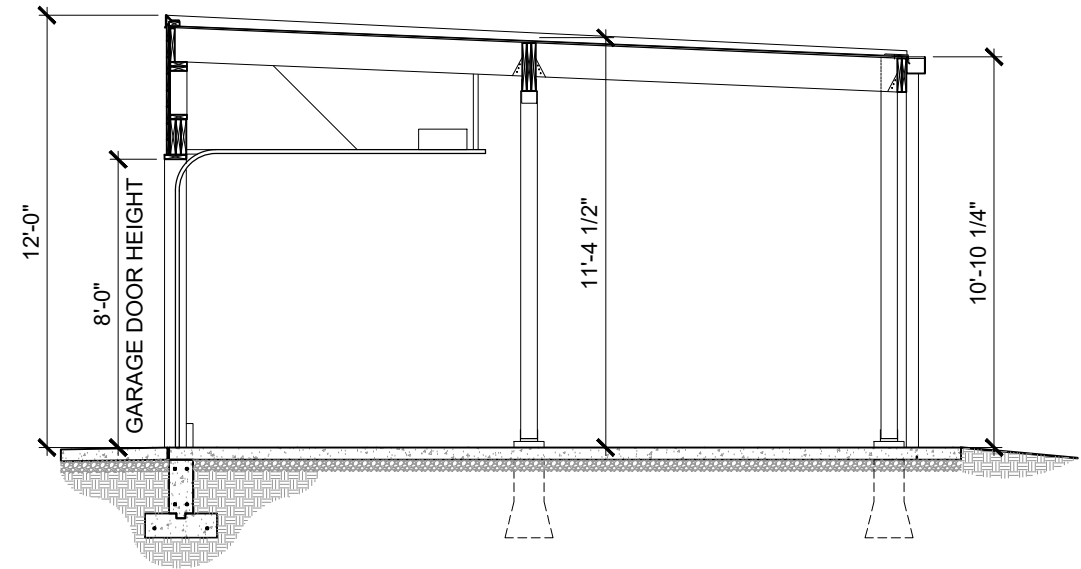
Saint Louis, MO 63110

AD:ARCH  
Anthony  
Duncan  
Architect

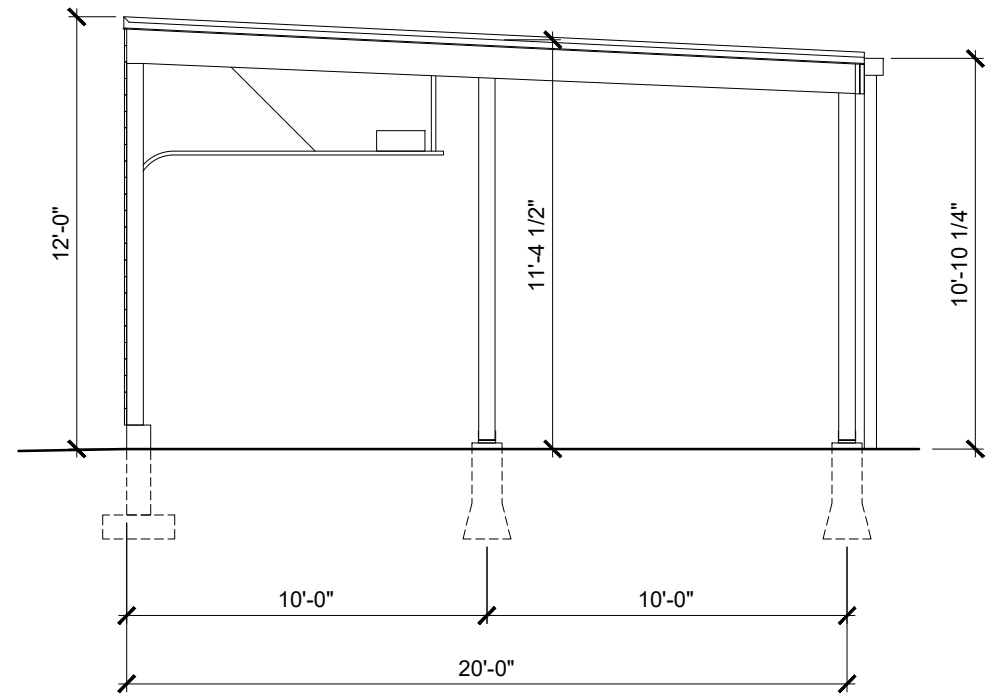
4527 Virginia Avenue  
St. Louis, MO 63111



1 CARPORT ALLEY ELEVATION  
SCALE: 3/16" = 1'-0"



3 CARPORT SECTION  
SCALE: 3/16" = 1'-0"



2 CARPORT SIDE ELEVATION  
SCALE: 3/16" = 1'-0" (SIMILAR OPPOSITE)

4438-40 SWAN AVENUE

PRELIMINARY RENDERINGS



FRONT ELEVATION FROM SWAN AVENUE

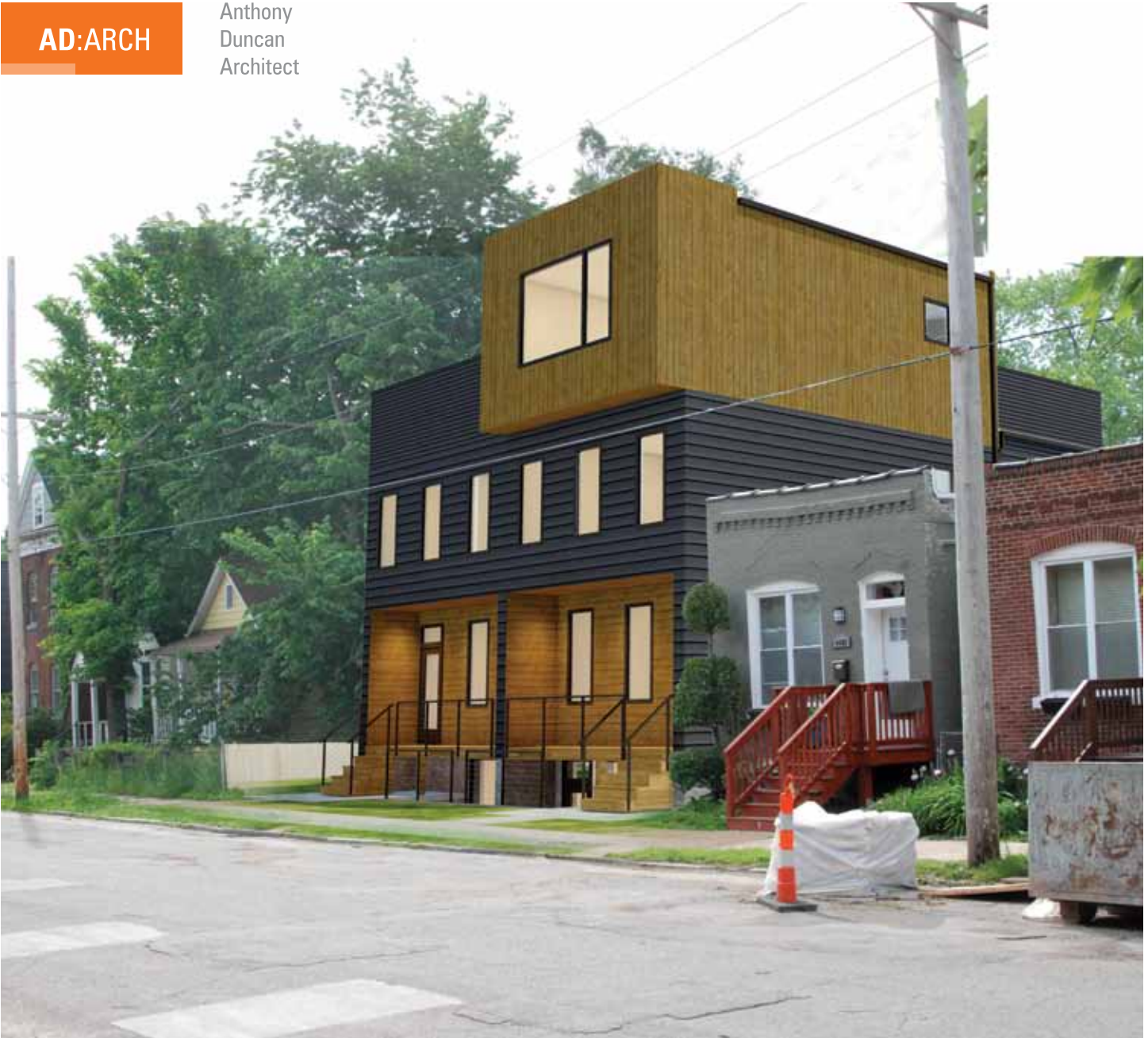


4438-40 SWAN AVENUE

PRELIMINARY RENDERINGS

AD:ARCH

Anthony  
Duncan  
Architect



OBLIQUE VIEW LOOKING SOUTHEAST

4156 Manchester Avenue

**Site Address:** 4156 Manchester, St. Louis, MO 63110

**Request:** Community Support for the project

**Company Name:** Hulse Commercial Real Estate

Contact Person(s): Peder Hulse

**Mailing Address:** 9100 Midland Blvd., Overland, MO

**Company Owners / Principals:** Peder Hulse

### **Project Information**

#### **History of site**

The building is located at 4156 Manchester in the Grove. This is the site of the former Beyond Housing headquarters.

#### **Proposed Project**

The project will be a re-development of the currently vacant commercial building into a two-part, 6,000 sf retail space for Beast Craft BBQ Co. Of the 6,000sf, 4,000sf will be taken by Beast Craft BBQ restaurant and 2,000sf will house Beast Craft Market. The restaurant will serve BBQ meals to customers and the market will sell cuts of raw meat.

#### **Parking**

There will be 15 parking that are partial visible from the street.

#### **Current Zoning**

Neighborhood General Type 2 (NG2)

4156 Manchester Avenue

**Project Costs:**

Acquisition:	\$ 540,000
Pre-development Soft Cost:	\$ 122,100
Construction Cost:	\$495,200
Total:	\$1,157,400

**Project Timeline:**

Site Control:	October 2017
Construction Start:	May 2018 (Pre Demolition)
Construction Complete:	November 2018
Occupancy:	December 2018

**Relevant Experience**

Hulse Commercial Real Estate is a boutique St. Louis, MO based commercial real estate brokerage firm focused on representing tenants and landlords of commercial real estate. The principal, Peder Hulse, has over 12 years of experience advising companies and individuals on lease and sale transactions. He has a wide range of experience in real estate development, incentives advisory and in-depth knowledge of the people and places in local market.

**Will the project seek financial incentives from the City of St. Louis?** The project will be asking the City of St. Louis for a tiered tax abatement for five (5) year period beginning at 100% year one (1) and ending at 0% at the end of year five. The building previously has been tax exempt under its former ownership which was a nonprofit.

4156 Manchester Avenue

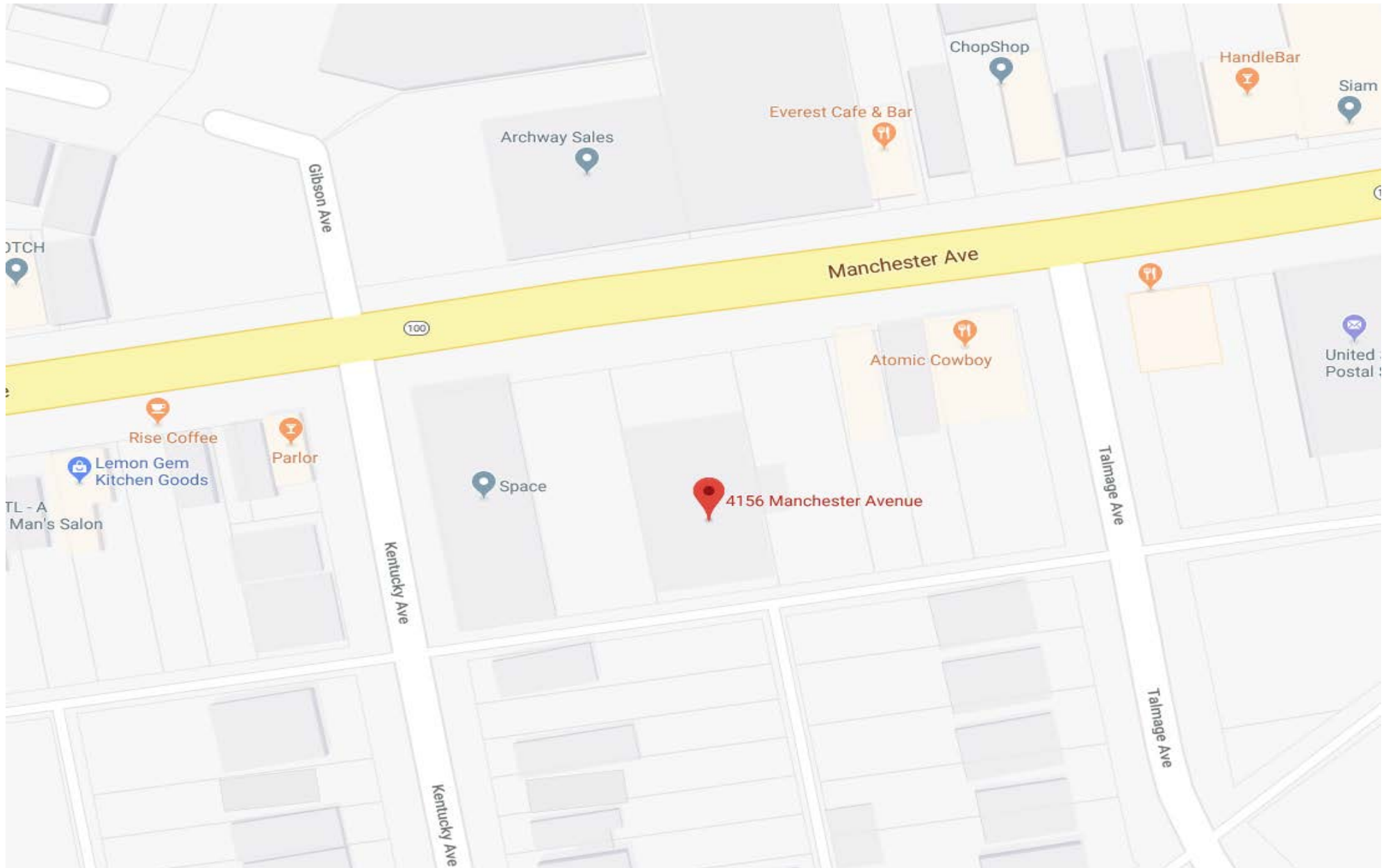
**Park Central Recommendation**

Park Central Development recommends support of the project with the following conditions:

1. Any changes to the site plans that requires a variance should be brought before the FPSE Development Committee for review

4156 Manchester Avenue

## Site Map





4156 Manchester Avenue

**Property (Current Exterior)**









BEAST Craft BBQ Co.



09/14/2017

EXTERIOR VIEWS





BEAST Craft BBQ Co.



09/14/2017

EXTERIOR VIEWS





BEAST Craft BBQ Co.



09/14/2017

EXTERIOR VIEWS





BEAST Craft BBQ Co.



09/14/2017

EXTERIOR VIEWS





BEAST Craft BBQ Co.



09/14/2017

EXTERIOR VIEWS





BEAST Craft BBQ Co.



09/14/2017

EXTERIOR VIEWS



805 S. Vandeventer Site Plan Approval and Special Use Permit

**Site Address:** 805 S. Vandeventer

**Company Name:** Noles Properties

**Request:** Site Plan Approval and Special Use Permit

**Contact Person(s):** Steve Noles & Christina Shuff

**Mailing Address:** 11361 Olive Boulevard, Creve Coeur, Missouri 63141<sup>[SEP]</sup>

**Company Owners / Principals:** Steve Noles – Noles Properties; Developer under contract

Bill Barnes – NAI DESCO; Broker Representing Raising Cane’s Chicken Fingers

Christopher Walker – Raising Cane’s Chicken Fingers Real Estate Manager<sup>[SEP]</sup>

Dave Mason – Mason & Associates; Current Property Owner

### **Project Information**

#### **History of Site:**

The project at 805 S. Vandeventer to construct a Raising Canes Chicken Fingers Restaurant on the land owned by M& H Development came before the FPSE Development Committee on November 28, 2017. The Development Committee of Forest Park Southeast on November. After careful review, voted to approve the special use permit and site plan, with the following conditions:

1. Move the building footprint to the NE corner of the parcel, place it at a zero-lot-line along Vandeventer Avenue and reconfigure the drive-thru lane to the western side
2. Join the Grove CID and pay for related legal costs
3. Repave sidewalks along Vandeventer Avenue & Gratiot Street
4. Install street trees along Vandeventer Avenue & Gratiot Street
5. Install at least two bike racks on site
6. Install adequate lighting and cameras on site

## 805 S. Vandeventer Site Plan Approval and Special Use Permit

7. Use full brick on all sides of the building
8. Install storefront windows along Vandeventer Avenue
9. Provide direct access to pedestrians through an entrance along Vandeventer Avenue
10. Build the structure to the maximum, allowable height, according the billboard easement
11. Provide the updated site plan for review and consideration of support

There developer has addressed 10 of the 11 items requested by the committee for changes to the project including increasing the building height. The outstanding item for consideration is the moving of the building footprint to the NE corner of the parcel, place it at a zero-lot-line along Vandeventer Avenue and reconfigure the drive-thru lane to the western side. After speaking with the developer, they have not been able to make the requested change due to the life safety issue that the configuration presents and the liability to customers.

### **Proposed Project:**

To construct a family owned free standing, all masonry and real stucco Raising Cane's Chicken Fingers restaurant that will serve as one of the few family friendly, affordable, cook to order quick service eating establishments in the area. This small site currently exists as a vacant under-utilized parking lot. Redeveloped, this site will generate a substantial amount of sales tax revenue along with providing 55+ above-minimum wage jobs for the community. Per the Forest Park Southeast Neighborhood Book, Page 21, we plan to "Improve perceptions of the area by reducing vacant buildings and sites throughout the area, by considering new uses and new projects."

### **Square footage of project:**

2,913 sf proposed building on 31,558 sf lot

### **Current Zoning:**

B2 Boulevard Type 2

805 S. Vandeventer Site Plan Approval and Special Use Permit

**Project Costs:**

Acquisition:	\$ -
Pre-development Soft Cost:	\$ -
Construction Cost:	\$ -
Total:	\$ 4,225,000

**Project Timeline:**

Site Control:	Upon Issuance of Permit
Construction Start:	30 Days Following Issuance of Permit
Construction Complete:	130 Days Following Issuance of Permit
Occupancy:	130 Days Following Issuance of Permit

**Building Materials:**

Raising Cane’s uses full size brick (not veneer), real stucco (not dryvit), metal awnings and full masonry and metal door dumpster enclosures as examples. Additionally, Raising Cane’s is proposing extensive landscaping.

**Will the project seek financial incentives from the City of St. Louis?**

No incentives will be requested for this project.

**Parking:**

33 parking spaces are proposed. The majority of the parking spaces will be hidden behind the building which is positioned to run along Vandeventer Ave. The parking spaces with a line of sight from Vandeventer and Gratiot will be shielded by landscaping that will run along Vandeventer Ave. and Gratiot St.



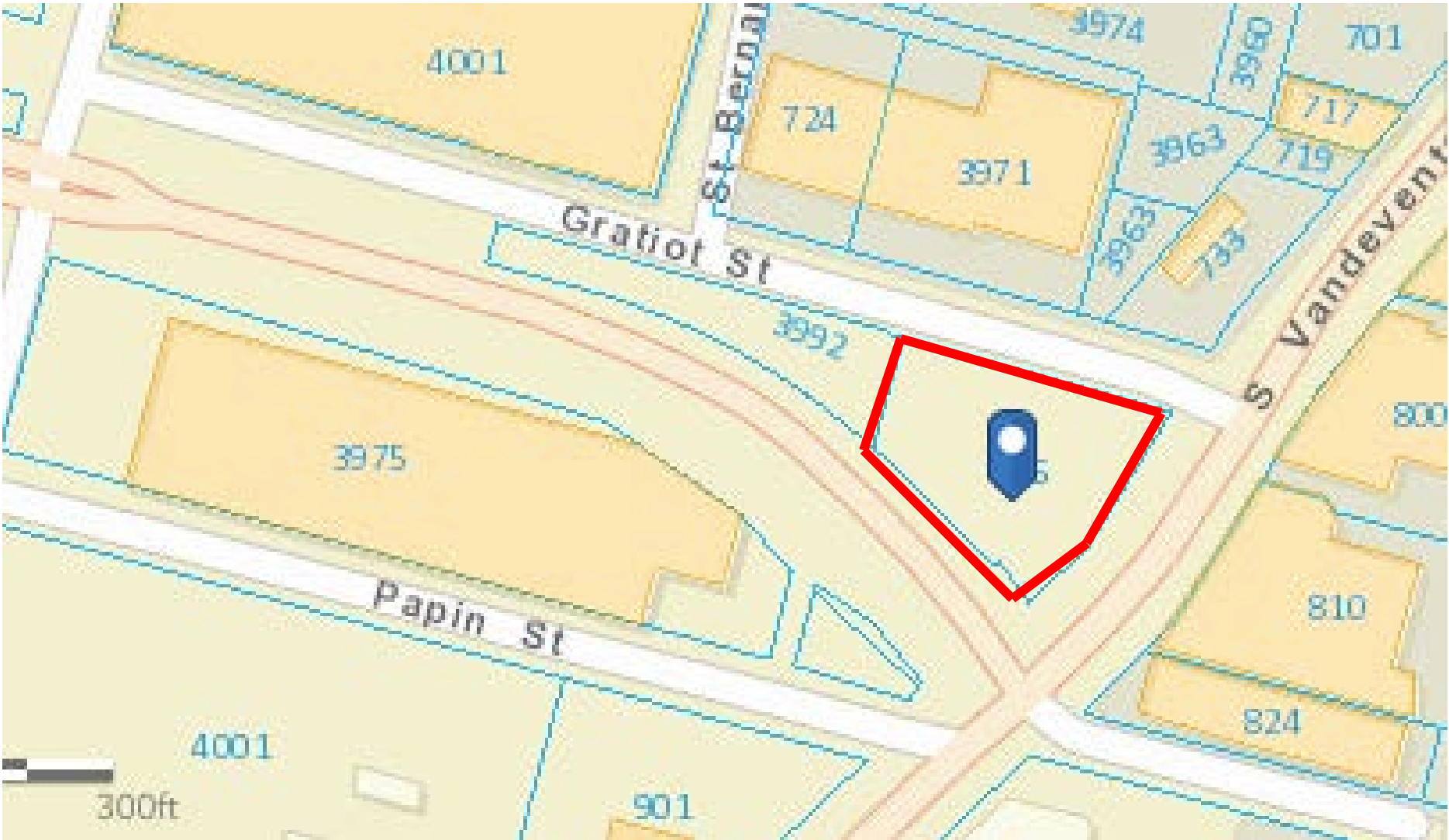
**Relevant Experience**

Noles Properties has developed over 500,000 sf of retail product in the St. Louis Market for a variety of National Tenants including QuikTrip, Walgreens, Waffle House & McAllister's. Bill Barnes of NAI DESCO has 15 years of commercial real estate brokerage experience and has been involved in over 325 transactions totaling more than \$130,000,000 in volume. Bill has been responsible for the market roll out of several national tenants including Raising Cane's Chicken Fingers, Verizon Wireless, Craft Beer Cellar and I Love Juice Bar to name a few. The development team at Raising Cane's has a combined development experience of over 100 years with major national and international brands that include, Home Depot, Chase, TGI Fridays, Chili's, Macaroni Grill, to name a few.

**Park Central Recommendation**

Park Central recommends that the committee consider support of the project due to the life safety issue presented by repositioning the drive thru and building for this project.

Property Location



Current Property (viewed from Vandeventer)



Current Property (viewed from Vandeventer)





Current Property (viewed from Vandeventer)



Current Property (viewed from Vandeventer)





**Properties to the East**





Property to the North



Property to the South





**Property to the West**







1 FRONT ELEVATION  
3/16" = 1'-0"



2 REAR ELEVATION  
3/16" = 1'-0"



3 DRIVE - THRU ELEVATION\_RENDERED  
3/16" = 1'-0"



4 SIDE ENTRY ELEVATION  
3/16" = 1'-0"

MATERIAL KEY

- ① BELDEN BRICK: 12" ROMAN BRICK MEDIUM RANGE SHADOW TEX.
- ② BELDEN BRICK: CAPITAL IRON SPOT SMOOTH, BLACK
- ③ METAL PANEL
- ④ BELDEN BRICK: 12" ROMAN BRICK DARK RANGE SMOOTH.
- ⑤ HOT ROLLED STEEL
- ⑥ TRANSPARENT GLAZING
- ⑦ NICHIIHA CEDAR WOOD LOOK, CEMENT BOARD SIDING
- ⑧ MORIN CORP. "ZINC GREY" AA-12-0 METAL SIDING



Prototype Issue Date: 10/19/2017

Store:  
**Raising Cane's**  
**Restaurant 372**  
**St. Louis**  
**Prototype 4 E.R.D.**  
**(Lite) 3.3 Custom**

Designer's Information:  
**CSRS**  
IMAGINE SHAPE DELIVER  
6767 Perkins Road Suite 200 Baton Rouge, LA 70808  
Telephone: 225 769-0546 Fax: 225 767-0060  
www.csronline.com

Set Control Information: (ARCH use only)

Initial Setup Date:

CSRS Project Manager: Update

Professional of Record:

5/18/18

Sheet Revisions: (sheet specific per Designer)		
#	Date	Description

Sheet Title:  
**EXTERIOR ELEVATIONS**

Project Number: 000000.00.000

Drawn By: Author

Sheet Number:



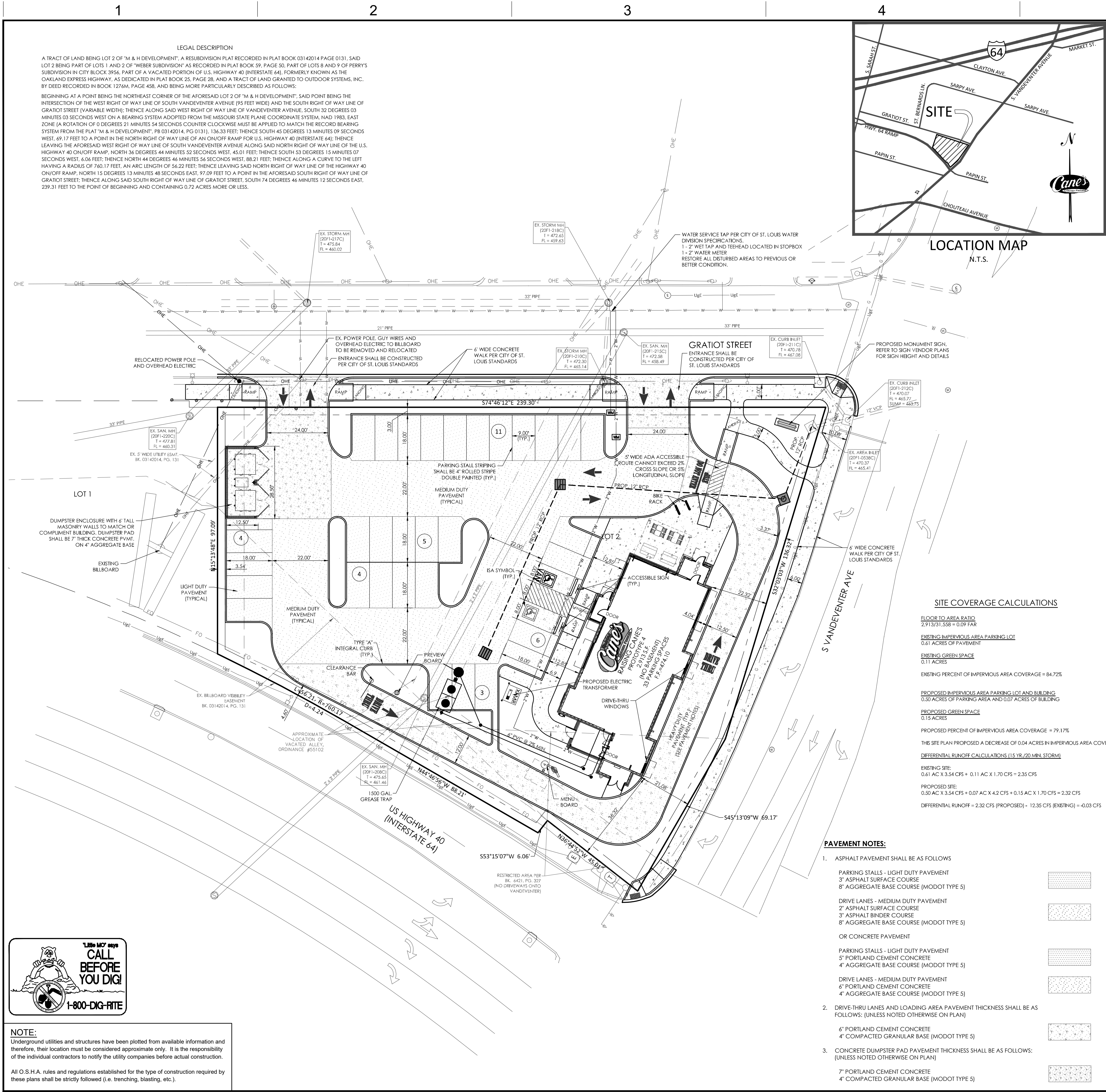
GRATIOT STREET



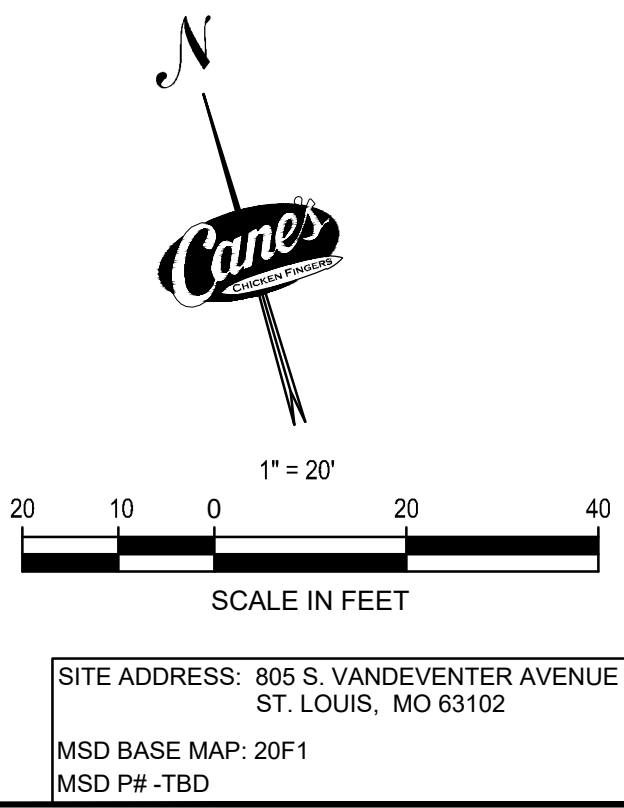
RAISING CANE'S  
VANDEVENTER 12



\\naip-pw\all\civil\_3d\PROJECTS\2017\177201\PG.372\VANDEVENTER AND GRATIOT ST. LOUIS COMMERCIAL SITE PLAN SITE PLAN FOR CONDITIONAL USE.dwg 2/22/2018 6:51 AM PCE PLOT STYLE.CTB



- SITE PLAN NOTES:
- PRESENT ZONING: G - LOCAL COMMERCIAL AND OFFICE DISTRICT
  - PROPOSED USE: DRIVE-THRU RESTAURANT
  - AREA OF TRACT: 0.72 ACRES
  - PROJECT IS SERVED BY:
    - A. ST. LOUIS FIRE DEPARTMENT
    - B. AT&T
    - C. METROPOLITAN SEWER DISTRICT
    - D. CITY OF ST. LOUIS WATER DIVISION
    - E. AMEREN UE
    - F. SPIRE (LACLEDE GAS COMPANY)
    - G. CHARTER COMMUNICATIONS
  - ALL PROPOSED ON-SITE UTILITIES SHALL BE PLACED UNDERGROUND AS COORDINATED WITH THE CITY AND THE UTILITY COMPANIES.
  - ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ST. LOUIS.
  - BUILDING HEIGHT, SITE LIGHTING AND SIGNAGE SHALL BE IN ACCORDANCE WITH CITY OF ST. LOUIS REQUIREMENTS.
  - GRADING AND DRAINAGE SHALL BE PER CITY OF ST. LOUIS AND MSD SPECIFICATIONS.
  - NO SLOPE SHALL BE GREATER THAN 3:1 UNLESS SUPPORTED BY A GEOTECHNICAL REPORT.
  - NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. LIGHT SHIELDS SHALL BE PLACED ON FIXTURES TO LIMIT THE DISBURSEMENT OF LIGHT INTO THE ADJACENT NEIGHBORHOOD.
  - SIDEWALKS ALONG ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1:20. SLOPES GREATER THAN 1:20 MUST BE DESIGNED AS A RAMP. SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ADAAG GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
  - ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS NOTED OTHERWISE.
  - PARKING CALCULATIONS:  
PARKING REQUIRED:  
A MINIMUM OF 15 PARKING SPACES ON LOT
  - PARKING PROVIDED:  
9' x 18' 31 SPACES  
ADA 2 SPACES  
TOTAL 33 SPACES
  - BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES NOT LIE WITHIN ANY SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP NUMBERS 2903850063C DATED MAY 24, 2011. THE PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
  - ON-SITE STRUCTURES ARE TO BE DEMOLISHED UNLESS NOTED OTHERWISE ON THE PLANS.
  - ALL PAVING TO BE IN ACCORDANCE WITH CITY OF ST. LOUIS SPECIFICATIONS
  - SETBACK PER CHAPTER 26.40 SECTIONS 26.44.070 AND .080
  - FRONT YARD BUILDING AVERAGE OF OTHERS 3'  
SIDE YARD PARKING 4'  
REAR YARD NONE 3'
  - ALL LAWN AND LANDSCAPE AREAS SHALL BE IRRIGATED. IRRIGATION SYSTEM SHALL BE DESIGN BUILD. LOCATION UNKNOWN AT THIS TIME.
  - ALL PROPOSED SIGNS SHALL BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT PROCESS.
  - ALL ROOFTOP EQUIPMENT, AIR CONDITIONING UNITS AND MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY. EXTERIOR MECHANICAL/UTILITY EQUIPMENT SHALL BE PAINTED TO MATCH THE ADJACENT BUILDING COLOR.
  - ENCLOSURES ARE REQUIRED TO SCREEN ALL DUMPSTERS AND COMPACTORS ON SITE AND SHALL BE CONSTRUCTED OF SIGHT-PROOF MATERIALS NOT LESS THAN SIX FEET IN HEIGHT. LATCHING GATES OF SIMILAR OR COMPLEMENTARY MATERIALS SHALL BE REQUIRED TO COMPLETELY ENCLOSE THE DUMPSTER.
  - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND DETAILS.
  - NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
  - DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ST. LOUIS.
  - ALL LANDSCAPED AREAS DISTURBED BY OFF-SITE WORK SHALL BE IMMEDIATELY SEEDDED OR SODDED, AS DIRECTED BY THE CITY OF ST. LOUIS DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF WORK IN AREA AFFECTED.
  - GENERAL CONTRACTOR WILL BE REQUIRED TO REPLACE ANY SOD DAMAGED BY SIGN VENDOR AT NO CHARGE TO RAISING CANES AND IS TO COMPLETE SOD REPAIR PRIOR TO THE GRAND OPENING.
  - SOD WITHIN RIGHT-OF-WAY SHALL BE INCLUDED IN THE LANDSCAPE CONTRACTOR'S BID.
  - THE GENERAL CONTRACTOR IS TO CONTACT THE DEVELOPER AND THE ENGINEER WITHIN A 24 HOUR TIME TABLE WHEN A DISCREPANCY OCCURS BETWEEN BUILDING OR SITE CONSTRUCTION DOCUMENTS, GEOTECHNICAL REPORTS, ETC. TO DISCUSS AND DETERMINE A SOLUTION.
  - SIGNAGE IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. REFER TO THE SIGNAGE PLANS BY OTHERS FOR SIGN DETAILS AND LOCATIONS.
  - THERE IS NO EXISTING VEGETATION OR TREES ON SITE.



**Raising Cane's**  
CHICKEN FINGERS

RAISING CANE'S  
805 S. VANDEVENTER AVE.  
ST. LOUIS, MO 63102  
PROTOTYPE 4  
STORE #372

**DEVELOPER/APPLICANT:**  
Raising Cane's Restaurants, L.L.C.  
Attn: LuAron McCormack  
6800 Bishop Road  
Plano, TX 75024  
Tele: 972-769-3364

**OWNER:**  
M & H DEVELOPMENT GROUP, LLC  
800 S. VANDEVENTER AVENUE  
ST. LOUIS, MO 63134

**CONSULTANT:**  
**PREMIER**  
ENGINEERING ARCHITECTURE SURVEYING  
308 TCW Court  
Lake Saint Louis, MO 63367  
Phone: (314) 925-7444  
Fax: (314) 925-7457

**ARCHITECT OF RECORD:**  
**CSRS**  
IMAGINE SHAPE DELIVER  
6767 Perkins Road Suite 200 Baton Rouge, LA 70808  
Telephone: 225 769-0546 Fax: 225 767-0060  
www.csronline.com  
Attn: Javier Solis

**ENGINEERS AUTHENTICATION**  
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

STEVE MARION P.E.  
ENGINEER  
PE2006007195

REVISIONS:

DRAWING BY:

DATE: 02-08-2018

JOB NUMBER: 177201

TITLE: PRELIMINARY DEVELOPMENT PLAN

SHEET NUMBER: 1 OF 3

COMMENTS:  
NOT RELEASED FOR CONSTRUCTION

4223 Gibson Ave:

**Site Address:** 4223 Gibson Ave.

**Request:** Request for a Community Support Letter for this project

**Company Name:** Botanical Heights Homes, LLC (AKA UIC)

Contact Person(s): Brett McMahon – bmcMahon@uicstl.com

**Mailing Address:** 1607 Tower Grove Ave, St Louis, MO, 63110

**Company Owners / Principals:** Brent Crittenden and Sarah Gibson

### **Project Information**

#### **History of site**

The building that once existed on the site was demolished in the late 1980's. For roughly 30 years, the lot has been vacant. Currently, the City of St. Louis is the owner, and the applicant is in the process of purchasing the lot from the City of St. Louis.

#### **Proposed Project**

The proposed project will be developing a vacant residential lot at 4223 Gibson. The lot is currently owned by the City of St. Louis and the applicant is in the process of purchasing it through an existing sales agreement. The lot is roughly 3,325 SF and a 1,914 SF 2-story house will be constructed on it. The new home will be 3 bed/2.5 bath and will have a 2-car garage for the residents, access from the alley. UIC has previously constructed 4 new homes and 4 rehabilitated town homes on the block and this will be the final construction by UIC on this truncated block of Gibson Avenue.

#### **Parking**

There will be a two (2) Car garage accessible from the alley.

4223 Gibson Ave:

**Current Zoning**

Neighborhood General Type 2 (NG2)

**Project Costs:**

Acquisition:	\$ 3,500
Pre-development Soft Cost:	\$ 30,000
Construction Cost:	\$314,060
Total:	\$347,500

**Project Timeline:**

Site Control:	Currently waiting sale to close from the City
Construction Start:	6/4/2018
Construction Complete:	10/26/18
Occupancy:	10/26/18

**Relevant Experience**

The developer has over 10 years of home building and real estate development experience and have constructed over 50 homes in the surrounding area.

**Will the project seek financial incentives from the City of St. Louis?** The project will be asking the City of St. Louis for a 100% tax abatement for 5 Years for this single-family home.

4223 Gibson Ave:

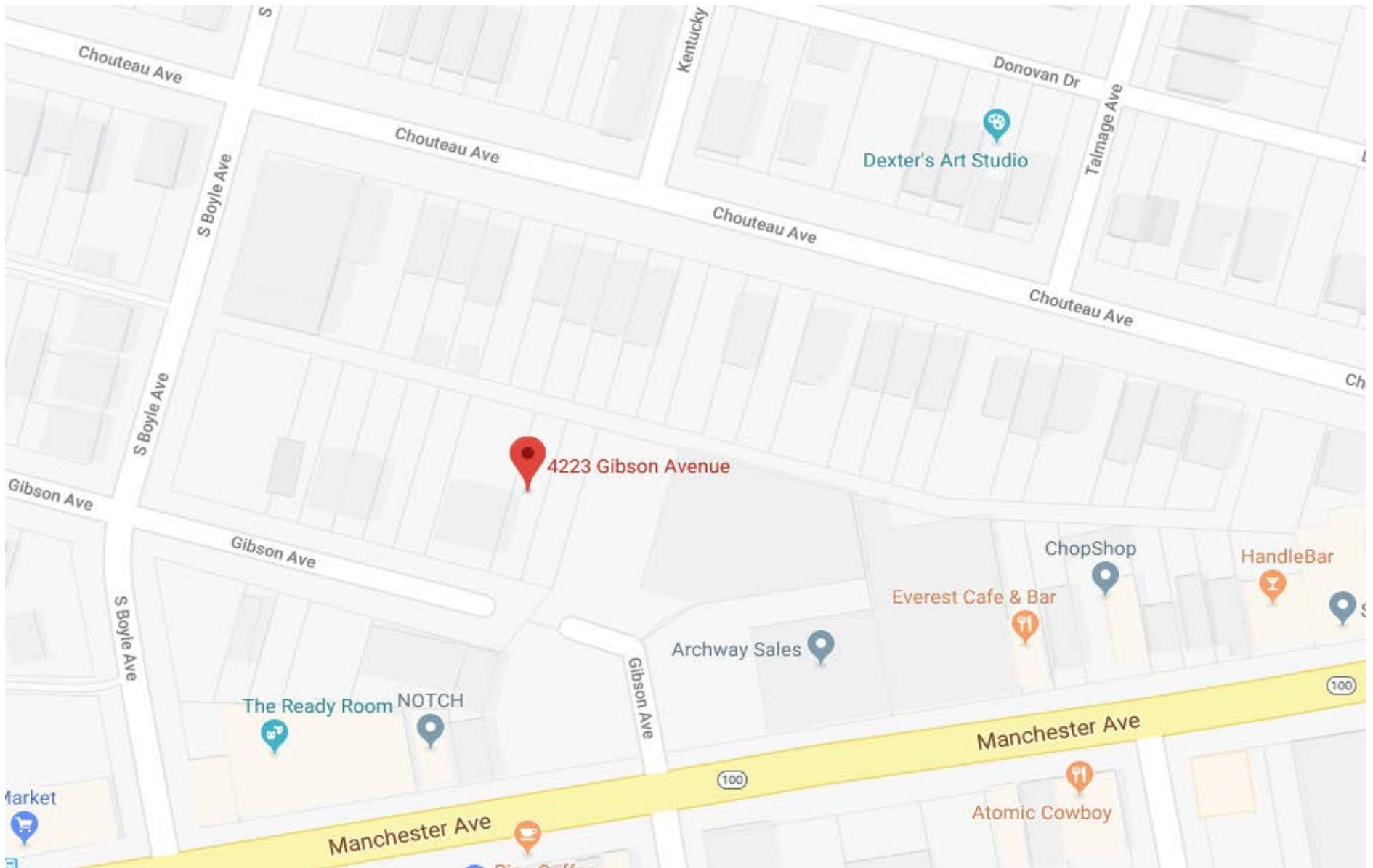
**Park Central Recommendation**

Park Central Development recommends support of the project with the following conditions:

1. Any changes to the site plans that requires a variance should be brought before the FPSE Development Committee for review

4223 Gibson Ave:

### Site Map





4223 Gibson Ave:

**Property (Current Exterior)**





4223 Gibson Ave:

### 4223 Gibson Aerial View





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STUD SPACING AND FIRE RATED TYPES MUST BE INSTALLED ACCORDING TO TEST ASSEMBLIES.

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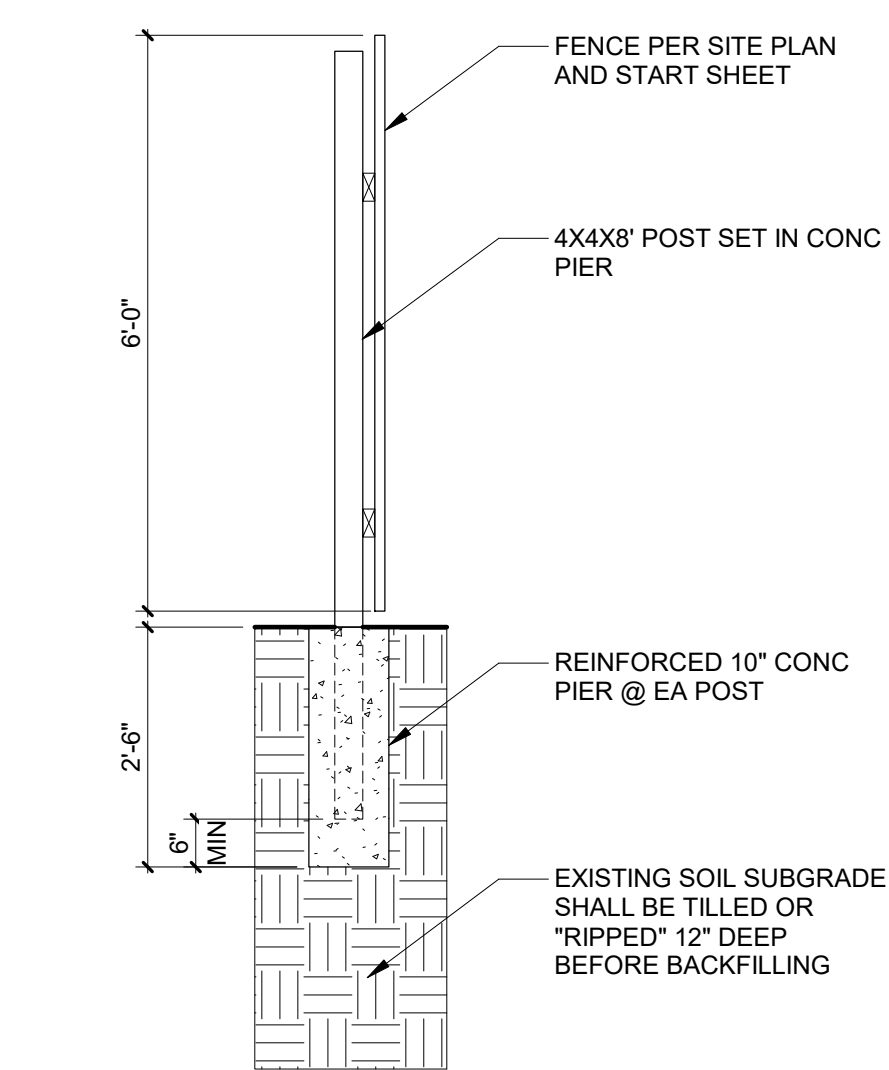


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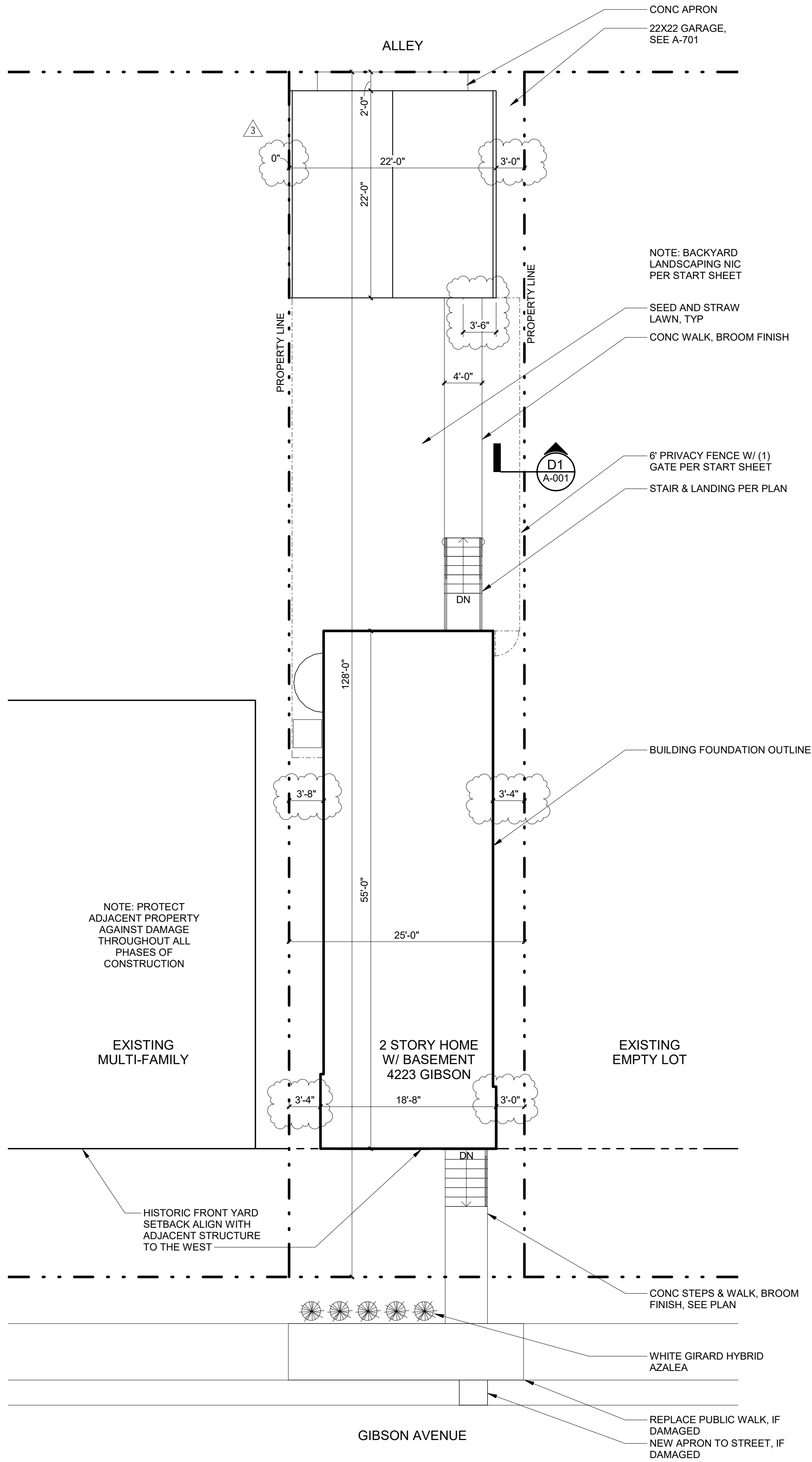


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P:\UICPROJECTS\04105\_Gibson - Avant Grove\041.05.23\_4223 Gibson (Lopez-Nold)\b\_Design\ha\_Drawings\4223 Gibson (Lopez-Nold).rvt



D1 FENCE SECTION  
A-001 1/2" = 1'-0"



C1 SITE PLAN  
- 1/8" = 1'-0"

OWNER:  
**UIC HOMES**  
1607 Tower Grove Avenue  
Saint Louis, Missouri 63110

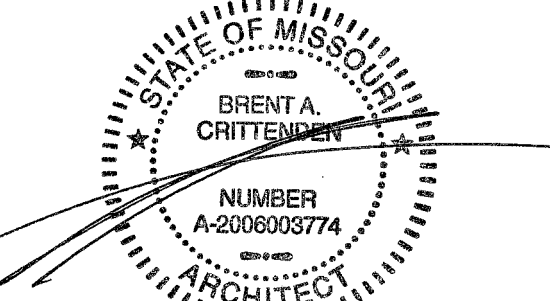


ARCHITECT:  
**Central Design Office, LLC**



1607 Tower Grove Avenue  
Saint Louis, Missouri 63110  
centraldesignoffice.com  
314.771.7300

10/31/2017



Brent A. Crittenden  
MO# 2006003774

REV	DATE	DESCRIPTION
3	03/12/18	FIELD REVISION

1" ACTUAL

CLIENT: LOPEZ-NOLD  
041.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

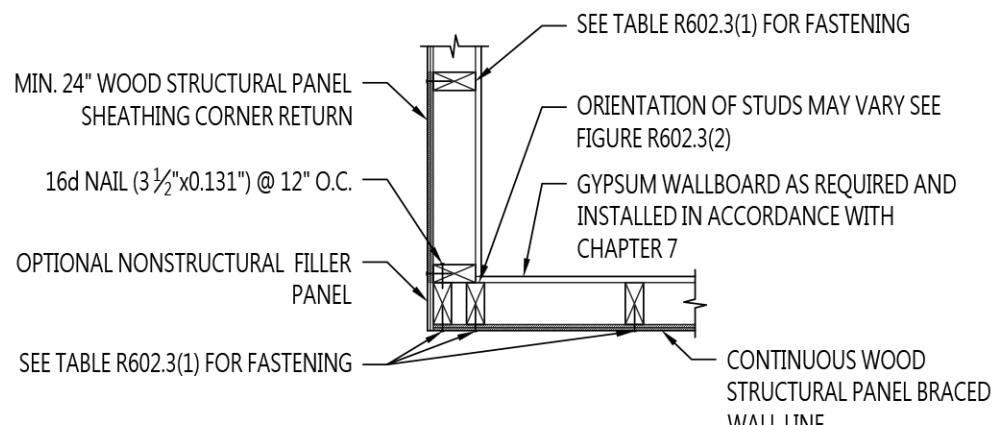
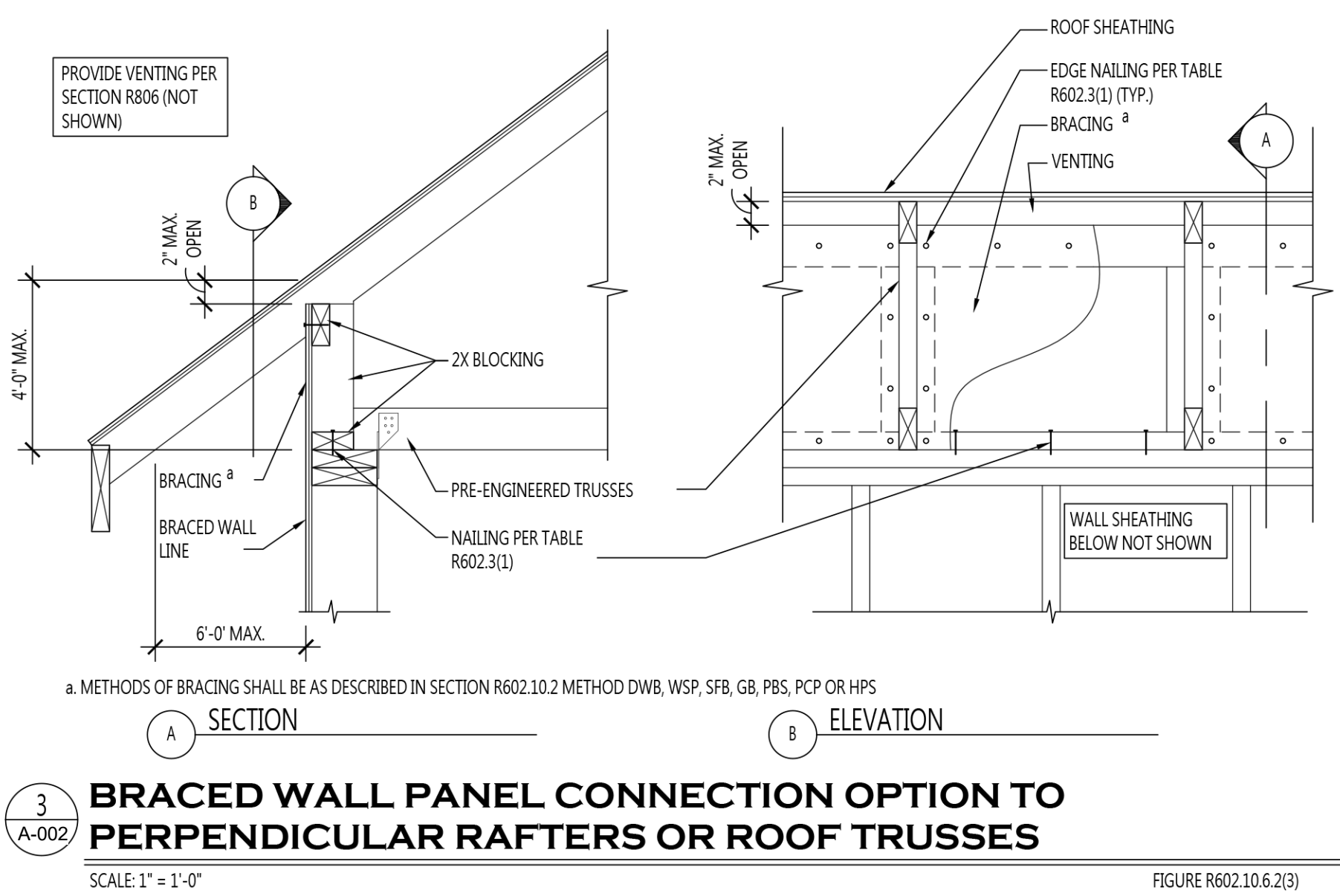
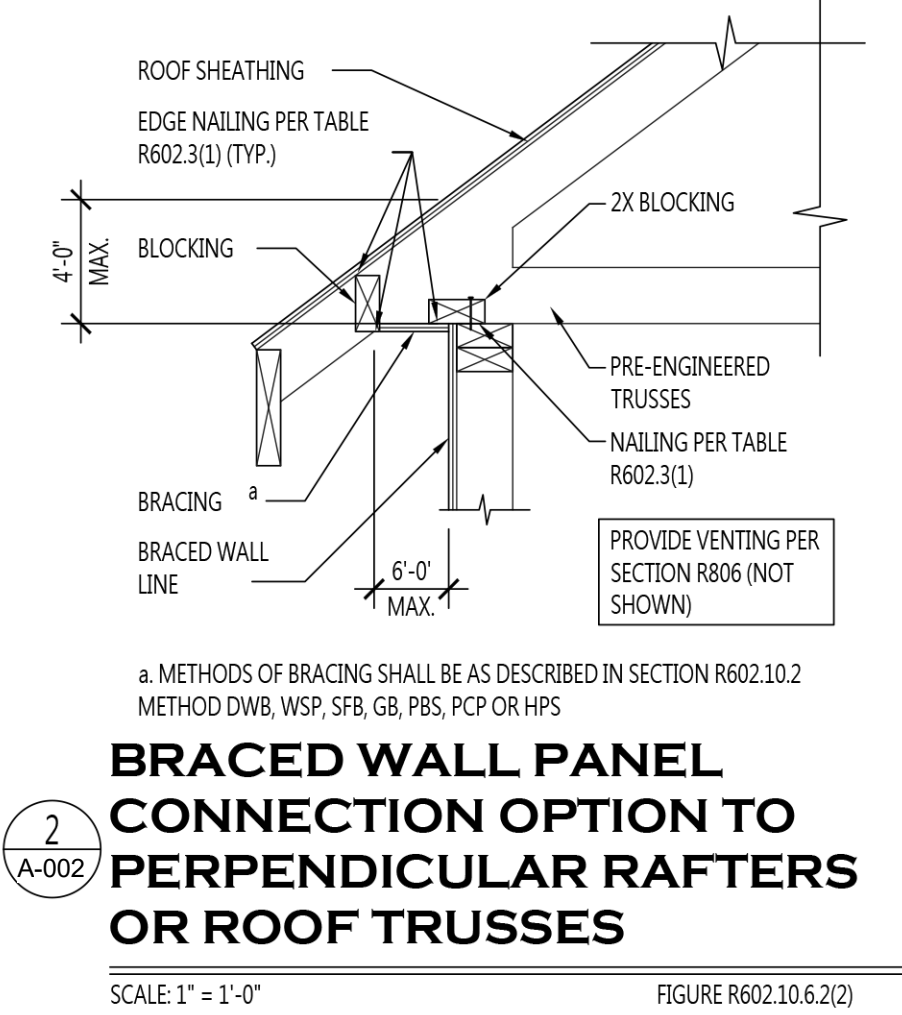
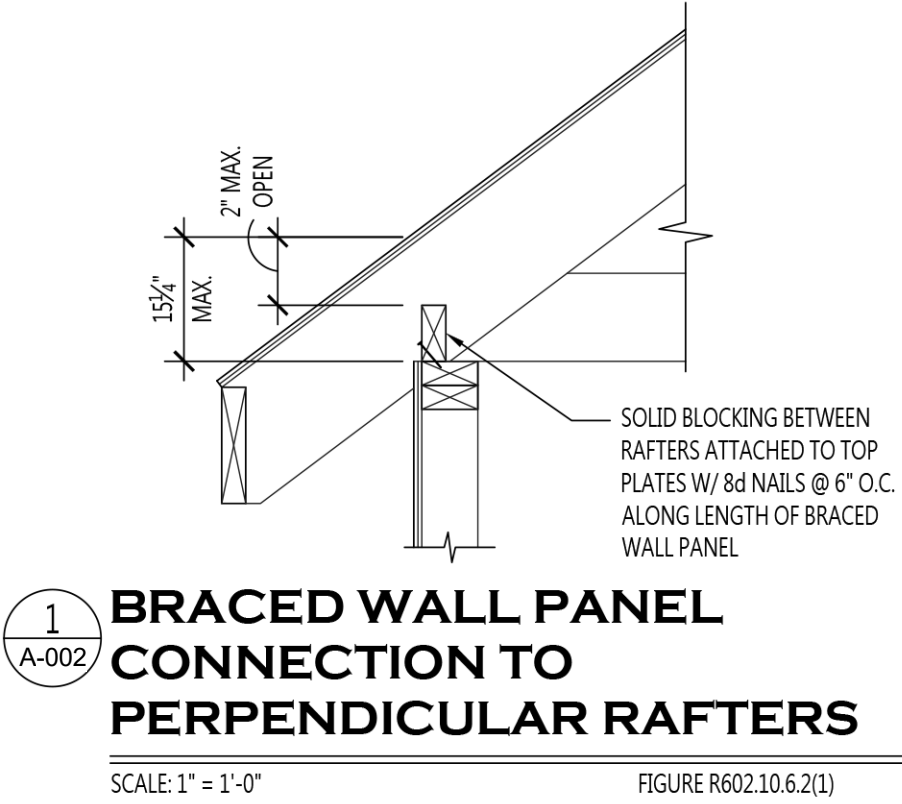
4223 GIBSON AVE  
SAINT LOUIS, MO 63110

ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: SITE PLAN

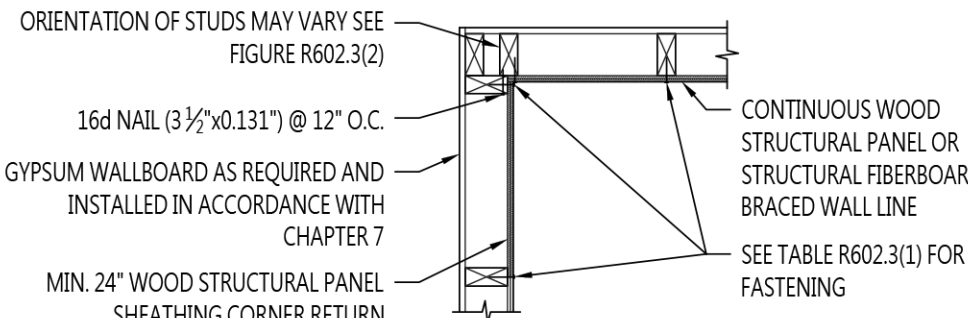
SHEET  
**A-001**

- 2009 I.R.C. WALL BRACING NOTES
1. LATERAL BRACING IS DESIGNED IN ACCORDANCE W/ THE 2009 I.R.C. PRESCRIPTIVE METHODS PER SECTION R602.10 U.N.O. NON-PRESCRIPTIVE METHODS ARE DESIGNED IN ACCORDANCE WITH THE 2009 I.B.C. AND ASCE 7-05.
  2. LATERAL DESIGN CRITERIA:
    - 2.A. EXTERIOR BRACING METHOD: CONTINUOUS SHEATHING
    - 2.B. WIND EXPOSURE CATEGORY: B
    - 2.C. BASIC WIND SPEED: 90 mph
    - 2.D. SEISMIC DESIGN CATEGORY: C
    - 2.E. SOILS CLASSIFICATION: D (NO SOILS REPORT PROVIDED)
  3. CONTRACTOR TO CONSTRUCT THE LATERAL BRACING SYSTEMS AS SHOWN ON STRUCTURAL DRAWINGS. BRACED WALL PANELS, AS LOCATED ON THE DRAWINGS, ARE TO BE CONSTRUCTED PER THE DETAILS AND TABLES PROVIDED FOR EACH BRACING METHOD.
  4. WALL ANCHORS AND HOLD DOWN ANCHORS SPECIFIED BY APPROPRIATE DETAILS SHALL BE INSTALLED ACCORDING TO DETAILS BEFORE POURING THE FOUNDATION WALLS U.N.O.
  5. WOOD SPECIES: #1 SOUTHERN PINE: 2x6, 2x8, 2x10, 2x12 FRAMING MEMBERS  
#2 SPRUCE-PINE-FIR: 2x4, 2x6 STUDS  
#1 DOUGLAS FIR-SOUTH: 6x6 OR 8x8 POSTS
  6. STEEL DESIGNATIONS:
    - A36: TOP PLATE, BOTTOM PLATE, STRUCTURAL ANGLES
    - A500 Gr. B: HSS STRUCTURAL TUBES
    - A592: W-SHAPES
  7. FASTEN ALL STRUCTURAL MEMBERS AND BRACING PER TABLE R602.3(1) REF. SHEET S-102
  8. BWP'S INTERIOR FINISH MATERIALS SHALL BE A MIN. 1/2" GYPSUM WALL BOARD AND FASTENED ACCORDING TO TABLE R702.3.5. REF. SHEET A-003
  9. CONTINUOUS SHEATHING BRACE WALL PANEL DESIGNATION AND METHOD OF CONSTRUCTION:
    - 9.A. A MINIMUM 24" PANEL CORNER RETURN SHALL BE PROVIDED @ BOTH ENDS OF B.W.L. IN LIEU OF CORNER RETURN, PROVIDE A MIN. 800lb HOLD DOWN DEVICE, SIMPSON L5THD6 (INSTALL PER MANUFACTURERS SPECIFICATIONS).
    - 9.B. CORNER FRAMING FOR CONTINUOUS SHEATHING METHOD IS TO BE INSTALLED PER FIGURE R602.10.4.4(1) REF. DETAIL 4/A-002
  10. BWP CONNECTIONS TO FLOOR FRAMING AND FOUNDATION TO BE INSTALLED PER FIGURES R602.10.6(1) AND R602.10.6(2) REF. DETAILS 5/A-002 & 6/A-002
  11. BWP CONNECTIONS TO ROOF FRAMING TO BE INSTALLED PER FIGURES R602.10.6.2(1), R602.10.6.2(2) AND R602.10.6.2(3). REF. DETAILS 1/A-002, 2/A-002 & 3/A-002

SUMMARY OF LATERAL BRACING METHODS		
METHOD	FASTENING REQUIREMENTS	STRUCTURAL DRAWING REF NUMBER
CS-PF	PER 2009 I.R.C. FIGURE R602.10.4.1.1	7/A-002
CS-WSP	6d COMMON NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS REF TABLE R602.3(1) & TABLE R602.3(3)	A-003
GB	NAILS OR SCREWS @ 4" O.C. @ PANEL EDGES W/ ALL EDGES BLOCKED. REF TABLE R702.3.5	A-003

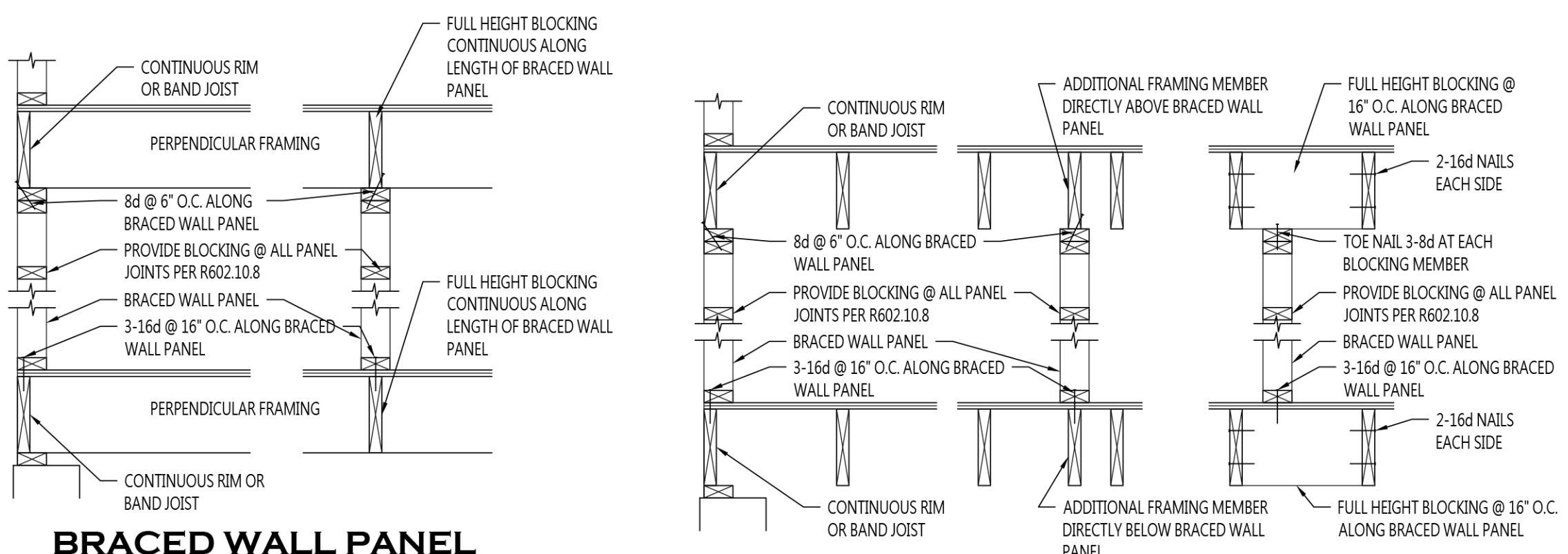


OUTSIDE CORNER DETAIL

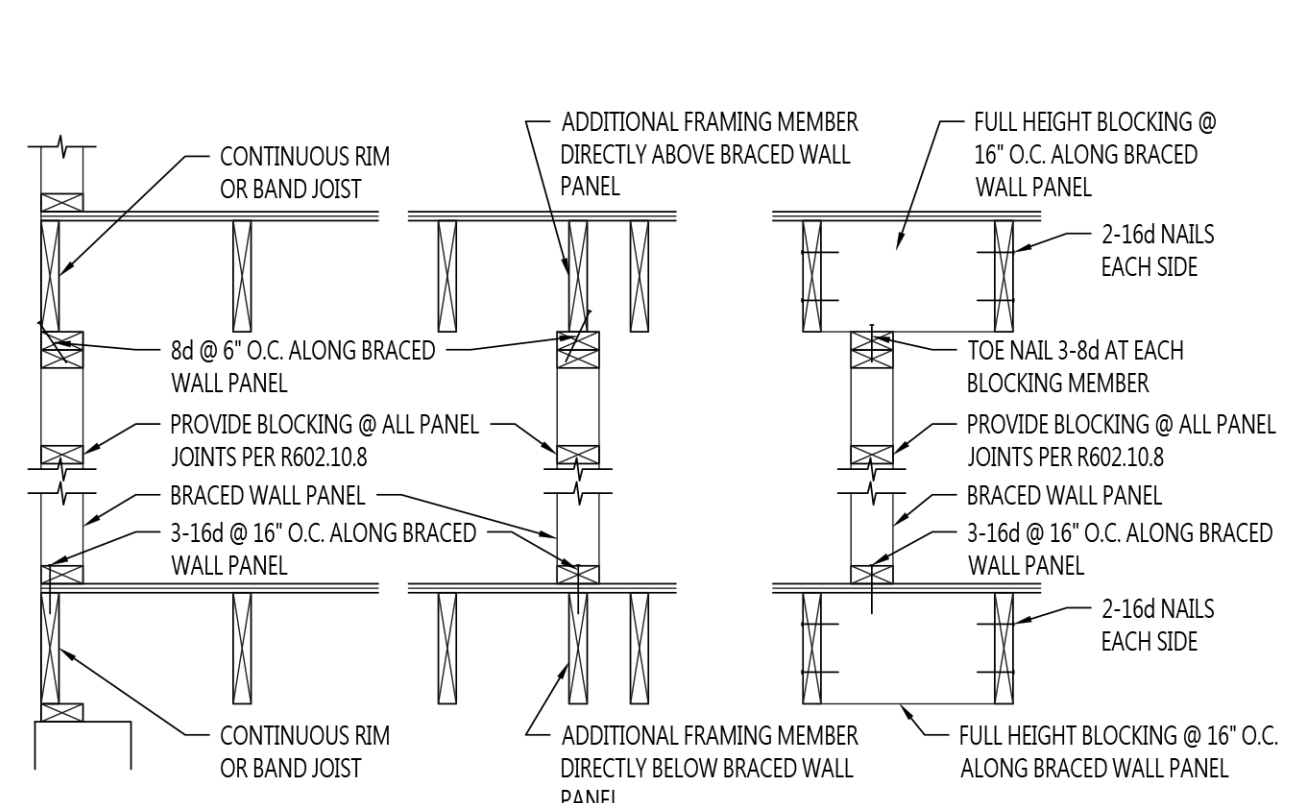


INSIDE CORNER DETAIL

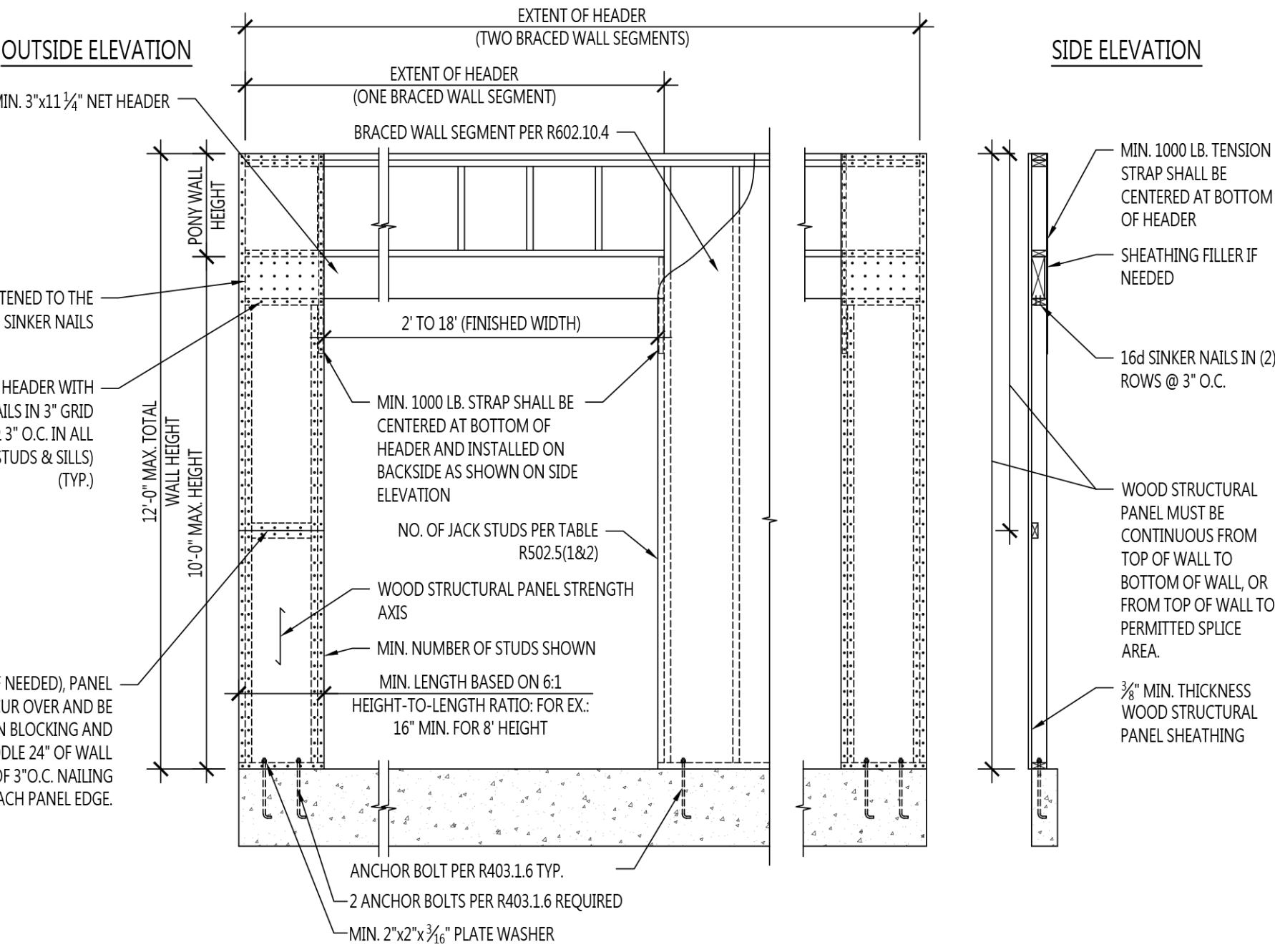
4 A-002 TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING



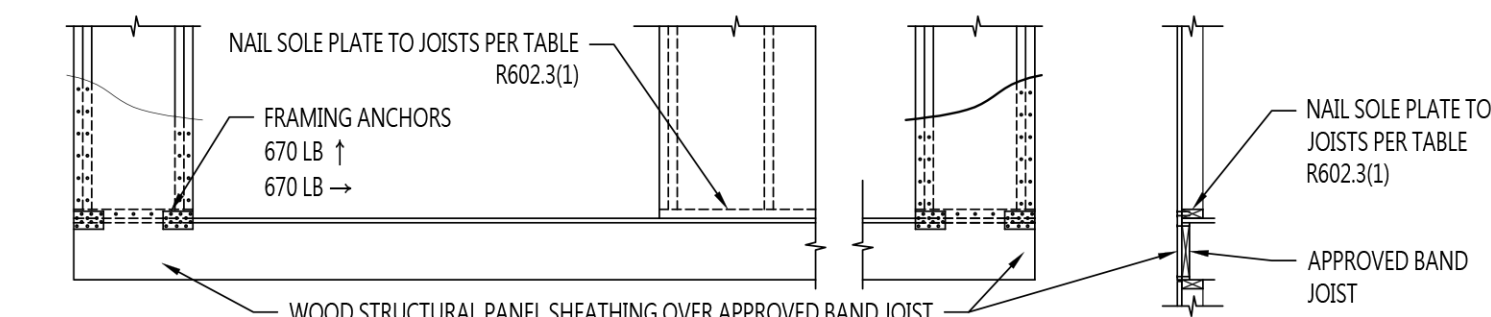
5 A-002 BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



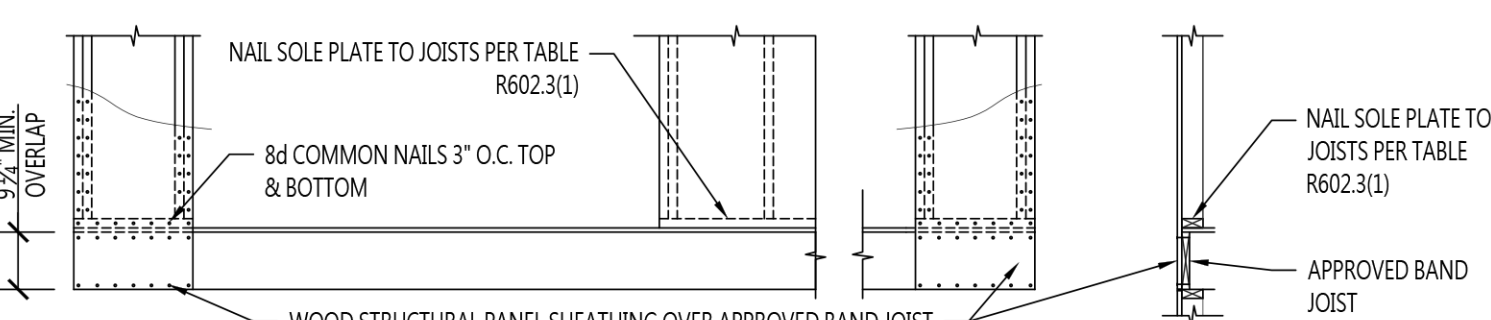
6 A-002 BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING



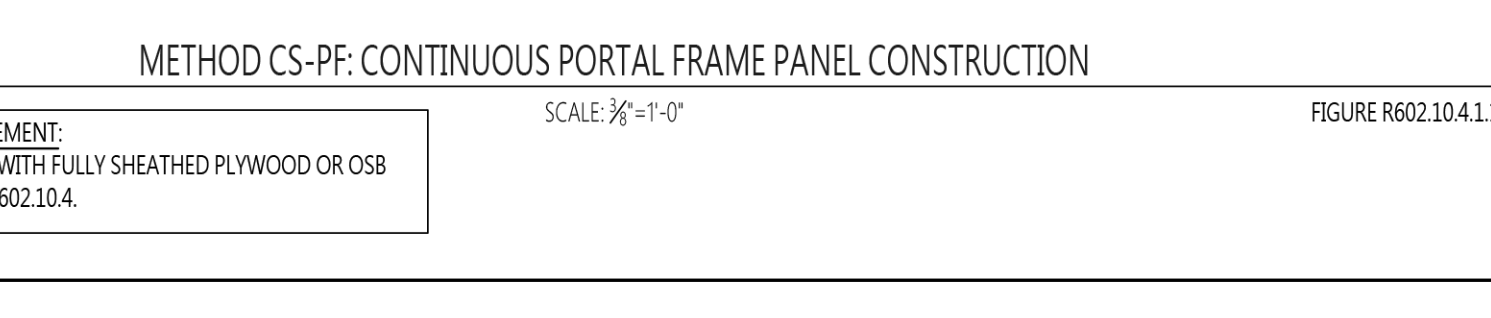
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION



OVER RAISED WOOD FLOOR OR SECOND FLOOR - WOOD STRUCTURAL PANEL OVERLAP OPTION



METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION

IMPORTANT CODE REQUIREMENT:  
ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB  
EXTERIOR WALLS, PER I.R.C. R602.10.4.

OWNER:  
**UIC HOMES**  
1607 Tower Grove Avenue  
Saint Louis, Missouri 63110

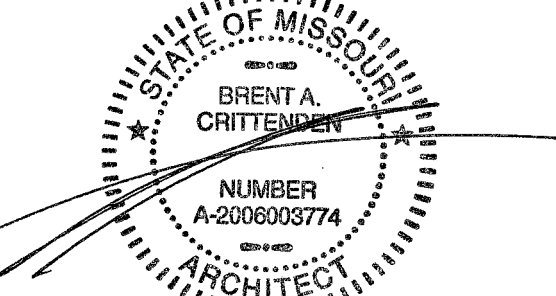


ARCHITECT:  
**Central Design Office, LLC**



1607 Tower Grove Avenue  
Saint Louis, Missouri 63110  
centraldesignoffice.com  
314.771.7300

10/31/2017



Brent A. Crittenden  
MO# 2006003774

REV	DATE	DESCRIPTION

1" ACTUAL

CLIENT: LOPEZ-NOLD  
04.1.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

4223 GIBSON AVE  
SAINT LOUIS, MO 63110

ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: TYPICAL IRC DETAILS

A-002  
SHEET



2009 I.R.C. TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER <sup>a,c</sup>	SPACING OF FASTENERS
ROOF			
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
2	CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTERS, LAPS OVER PARTITIONS, FACE NAIL	3-10d	-
4	COLLAR TIE RAFTER, FACE NAIL OR 1 1/4" X 20 GAGE RIDGE STRAP	3-10d	-
5	RAFTER TO PLATE, TOE NAIL	2-16d	-
6	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL OR FACE NAIL	4-16d or 3-16d	-
WALL			
7	BUILT-UP CORNER STUDS	10d	24" o.c.
8	BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" o.c. ALONG EACH EDGE
9	CONTINUED HEADER, TWO PIECES	16d	16" o.c. ALONG EACH EDGE
10	CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
11	DOUBLE STUDS, FACE NAIL	10d	24" o.c.
12	DOUBLE TOP PLATES, FACE NAIL	10d	24" o.c.
13	DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	-
14	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" o.c.
15	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" o.c.
16	STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
17	TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	-
18	TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	-
19	1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d	-
20	1" X 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
21	1" X 8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
22	WIDER THAN 1" X 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d	-
FLOOR			
23	JOISTS TO SILL OR GIRDER, TOE NAIL	3-8d	-
24	1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	-
25	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d	-
26	RIM JOISTS TO TOP PLATE, TOE NAIL	8d	6" o.c.
27	2" PLANKS	2-16d	AT EACH BEARING
28	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	NAIL EACH LAYER AS FOLLOWS: 32" o.c. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
29	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d	AT EACH JOIST OR RAFTER

2009 I.R.C. TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS (continued)					
ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER <sup>c,e</sup>	SPACING OF FASTENERS		
			EDGES (INCHES)	INTERMEDIATE SUPPORTS <sup>c,e</sup> (INCHES)	
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING					
30	$\frac{3}{8}$ " - $\frac{1}{2}$ "	6d COMMON NAIL (SUBFLOOR, WALL) NAIL (ROOF)	8d COMMON	6	12 <sup>g</sup>
31	$\frac{3}{16}$ " - $\frac{1}{2}$ "	6d COMMON NAIL (SUBFLOOR, WALL) NAIL (ROOF)	8d COMMON	6	12 <sup>g</sup>
32	$\frac{19}{32}$ " - 1"	8d COMMON NAIL		6	12 <sup>g</sup>
33	1 $\frac{1}{8}$ " - 1 $\frac{1}{4}$ "	10d COMMON NAIL OR 8d DEFORMED NAIL		6	12
OTHER WALL SHEATHING <sup>h</sup>					
34	$\frac{1}{2}$ " STRUCTURAL CELLOLOSIC FIBERBOARD SHEATHING	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL; $\frac{3}{16}$ " CROWN OR 1" CROWN STAPLE 16ga, 1 $\frac{1}{4}$ " LONG		3	6
35	$\frac{5}{8}$ " STRUCTURAL CELLOLOSIC FIBERBOARD SHEATHING	1 $\frac{3}{4}$ " GALVANIZED ROOFING NAIL; $\frac{3}{16}$ " CROWN OR 1" CROWN STAPLE 16ga, 1 $\frac{1}{2}$ " LONG		3	6
36	$\frac{1}{2}$ " GYPSUM SHEATHING <sup>d</sup>	1 $\frac{1}{2}$ " GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 $\frac{1}{2}$ " LONG; 1 $\frac{1}{4}$ " SCREWS, TYPE W OR S		7	7
37	$\frac{5}{8}$ " GYPSUM SHEATHING <sup>d</sup>	1 $\frac{3}{4}$ " GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 $\frac{1}{8}$ " LONG; 1 $\frac{1}{4}$ " SCREWS, TYPE W OR S		7	7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING					
38	$\frac{3}{4}$ " AND LESS	6d DEFORMED NAIL OR 8d COMMON NAIL		6	12
39	$\frac{3}{8}$ " - 1"	8d COMMON NAIL OR 8d DEFORMED NAIL		6	12
40	1 $\frac{1}{8}$ " - 1 $\frac{1}{4}$ "	10d COMMON NAIL OR 8d DEFORMED NAIL		6	12

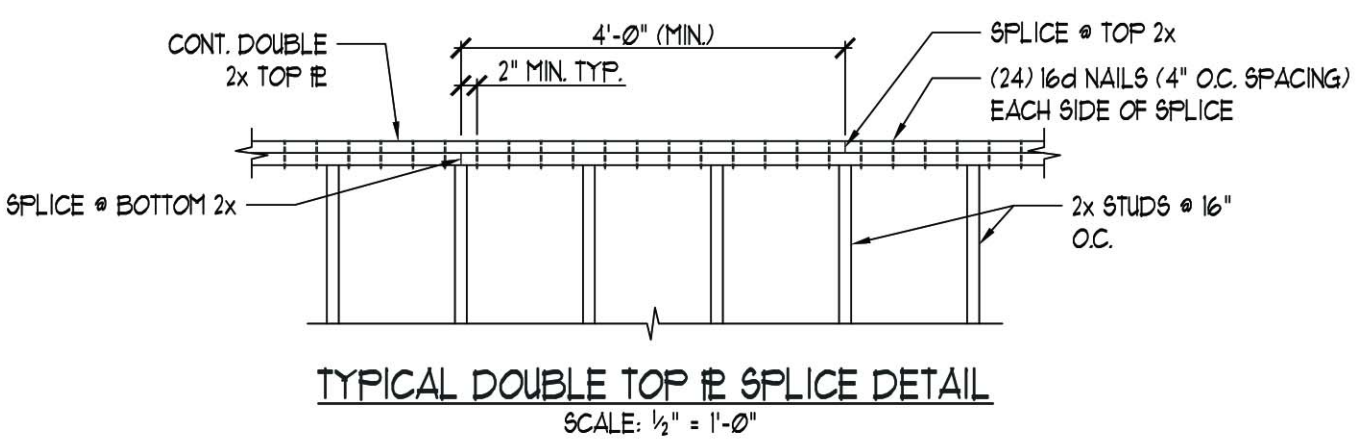
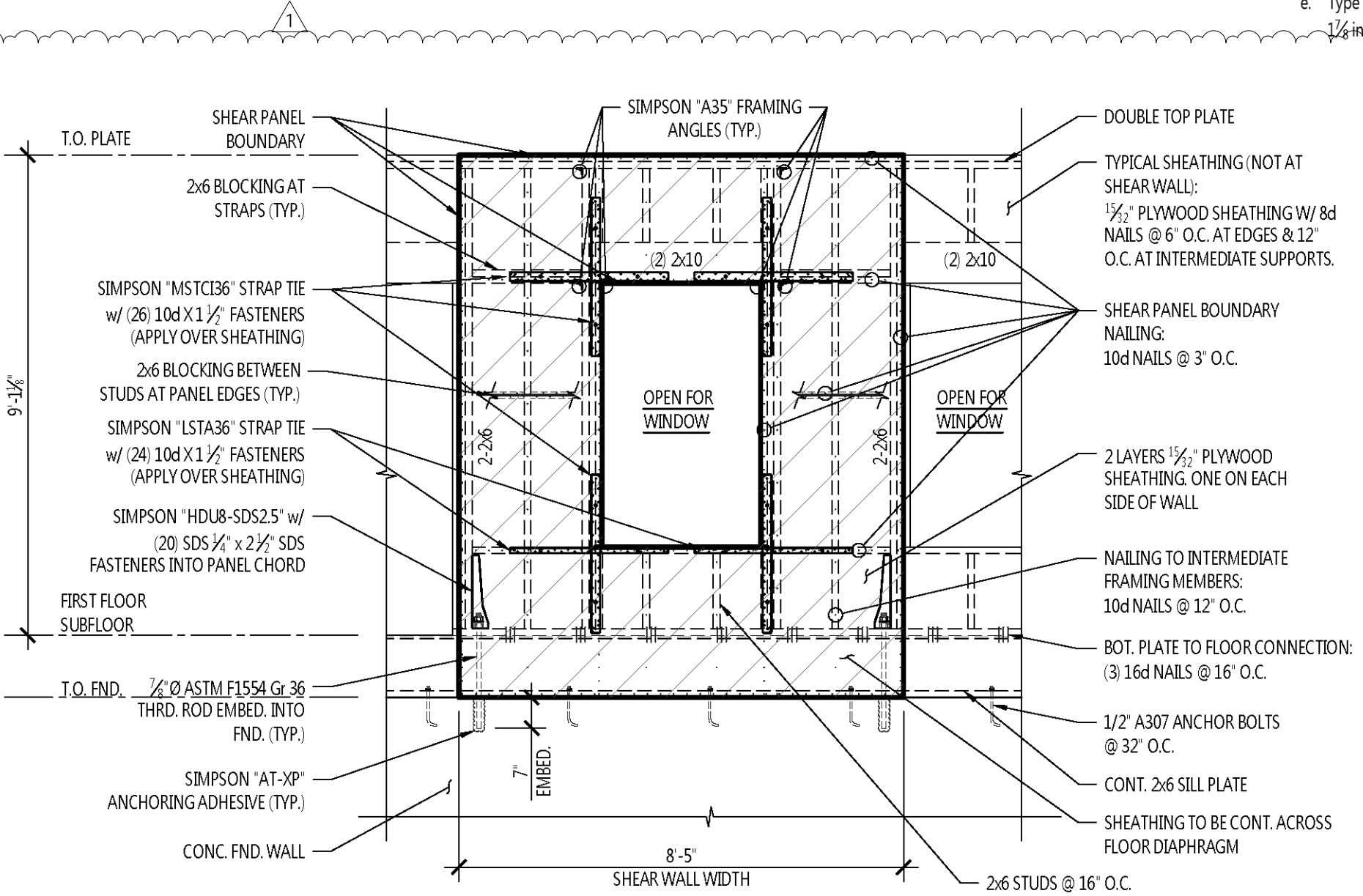
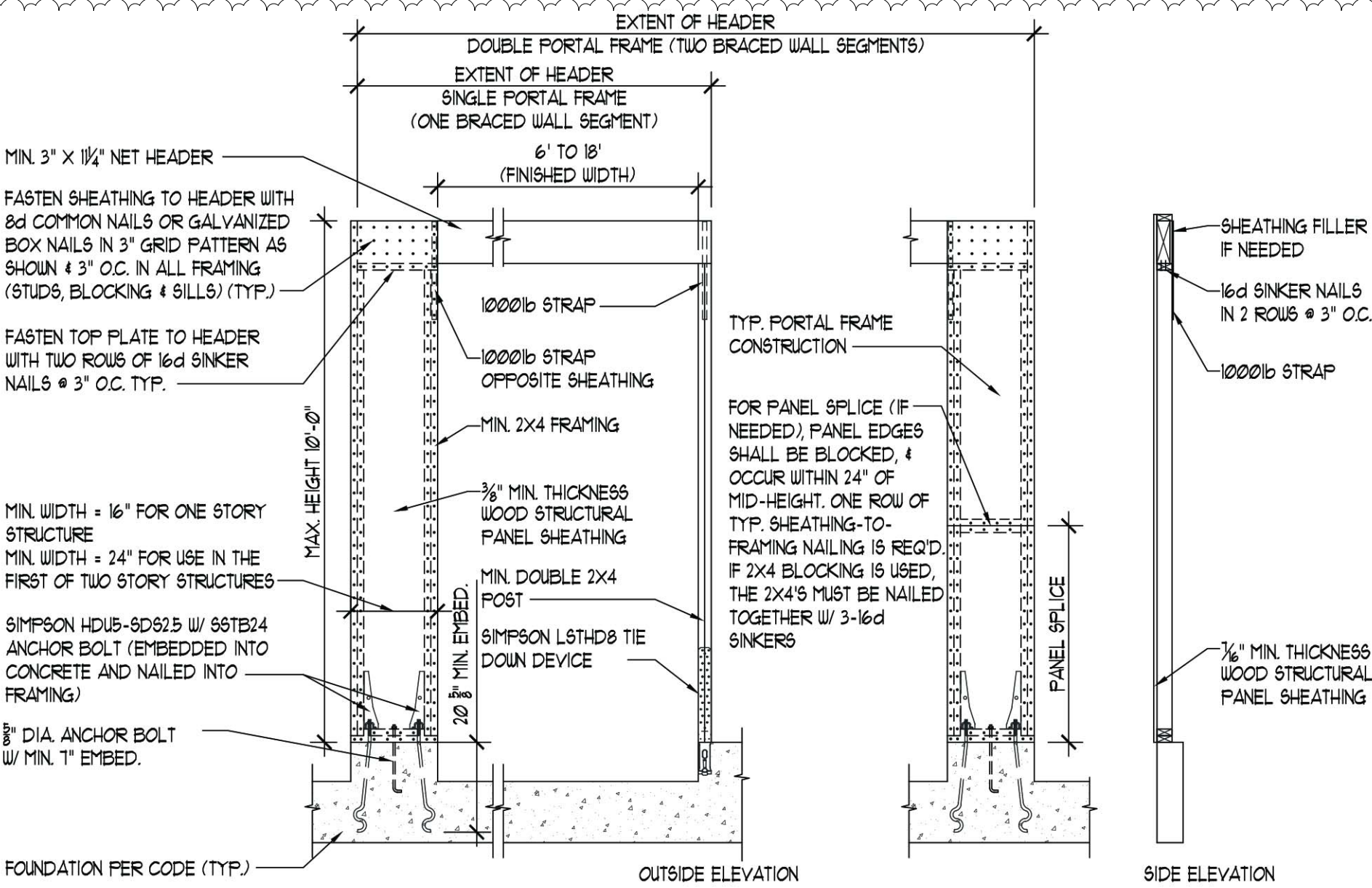
- a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80ksi for shank diameter of 0.192 inch (20d common nail), 90ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100ksi for shank diameters of 0.142 inch or less.
- c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be installed vertically.
- e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- g. For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.
- h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
- i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof pane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof panels. Floor and roof perimeter shall be supported by framing members or solid blocking.

2009 I.R.C. TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES <sup>a,b,c</sup>									
MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)		
							WIND EXPOSURE CATEGORY		
SIZE	PENETRATION (INCHES)				EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	B	C	D
6d COMMON	1.5	24/0	3/8	16	6	12	110	90	85
8d COMMON	1.75	24/16	7/16	16 24	6 6	12 12	130 110	110 90	105 85

- a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs space more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
- b. Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with R602.10.
- c. Wood Structural Panels with span rating of Wall-16 or Wall-24 shall be permitted as an alternative to panels with a 24/0 span rating. Plywood siding rated 16oc or 24oc shall be permitted as an alternative to panels with a 24/16 span rating. Wall-16 and Plywood siding 16oc shall be used with studs spaced a maximum of 16 inches on center.

2009 I.R.C. TABLE R702.3.5 MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD							
THICKNESS OR GYPSUM BOARD (inches)	APPLICATION	ORIENTATION OF GYPSUM BOARD TO FRAMING	MAXIMUM SPACING OF FRAMING MEMBERS (inches o.c.)	MAXIMUM SPACING OF FASTENERS (inches)		SIZE OF NAILS FOR APPLICATION TO WOOD FRAMING	
				NAILS <sup>a</sup>	SCREWS <sup>b</sup>		
APPLICATION WITHOUT ADHESIVE							
3/8"	CEILING <sup>d</sup>	PERPENDICULAR	16	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/4" long, annular-ringed. 4d cooler nail, 0.080" diameter, 1 1/4" long, 3/8" head.	
	WALL	EITHER DIRECTION	16	8	16		
	CEILING	EITHER DIRECTION	16	7	12		
	CEILING <sup>d</sup>	PERPENDICULAR	24	7	12		
1/2"	WALL	EITHER DIRECTION	24	8	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/4" long, annular-ringed. 5d cooler nail, 0.085" diameter, 1 1/4" long, 3/8" head, or gypsum board nail, 0.086" diameter, 1 1/4" long, 3/8" head.	
	WALL	EITHER DIRECTION	16	8	16		
3/8"	CEILING	EITHER DIRECTION	16	7	12	13 gage, 1 1/2" long, 3/16" head, 0.098" diameter, 1 1/4" long, annular-ringed. 6d cooler nail, 0.092" diameter, 1 1/2" long, 3/8" head, or gypsum board nail, 0.0915" diameter, 1 1/4" long, 3/8" head.	
	CEILING <sup>a</sup>	PERPENDICULAR	24	7	12		
	WALL	EITHER DIRECTION	24	8	12		
	WALL	EITHER DIRECTION	16	8	16		
APPLICATION WITH ADHESIVE							
3/8"	CEILING <sup>d</sup>	PERPENDICULAR	16	16	16	Same as above for 3/8" gypsum board	
	WALL	EITHER DIRECTION	16	16	24		
1/2" or 3/8"	CEILING	EITHER DIRECTION	16	16	16	Same as above for 1/2" and 3/8" gypsum board, respectively	
	CEILING <sup>d</sup>	PERPENDICULAR	24	12	16		
	WALL	EITHER DIRECTION	24	16	24		
Two 3/8" layers	CEILING	PERPENDICULAR	16	16	16	Base ply nailed as above for 3/8" gypsum board. Face ply installed with adhesive	
	WALL	EITHER DIRECTION	24	24	24		

- a. For application without adhesive, a pair of nails spaced not less than 2 inches apart or more than 2 1/2 inches apart may be used with the pair of nails spaced 12 inches on center.
- d. Three-eighths-inch-thick single-ply gypsum board shall not be used on a ceiling where a water-based textured finish is to be applied, or where it will be required to support insulation above a ceiling. On ceiling applications to receive a water-based textured material, either hand or spray applied, the gypsum board shall be applied perpendicular to framing. When applying a water-based texture material, the minimum gypsum board thickness shall be increased from 3/8 inch to 1/2 inch for 16 inches on center framing, and from 1/2 inch to 3/8 inch for 24-inch on center framing or 1/2-inch sag-resistant gypsum ceiling board shall be used.
- e. Type X gypsum board for garage ceilings beneath habitable rooms shall be installed perpendicular to the ceiling framing and shall be fastened at maximum 6 inches o.c. by minimum 1 1/4 inches 6d coated nails or equivalent drywall screws.



2  
A-003  
METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS  
SCALE: 3/8" = 1'-0"  
FIGURE R602.10.3.3

1  
A-003  
WOOD SHEAR WALL #1  
SCALE: 3/8" = 1'-0"

OWNER:  
**UIC HOMES**  
1607 Tower Grove Avenue  
Saint Louis, Missouri 63110

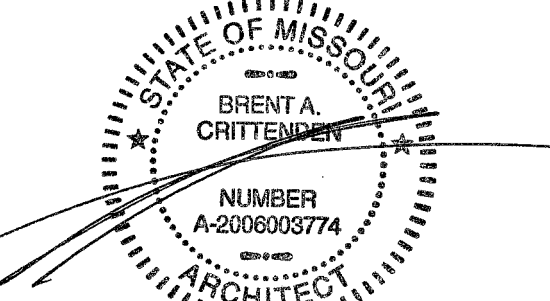


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10/31/2017



Brent A. Crittenden  
MO# 2006003774

REV	DATE	DESCRIPTION
1	11/21/17	PERMIT COMMENTS

1" ACTUAL

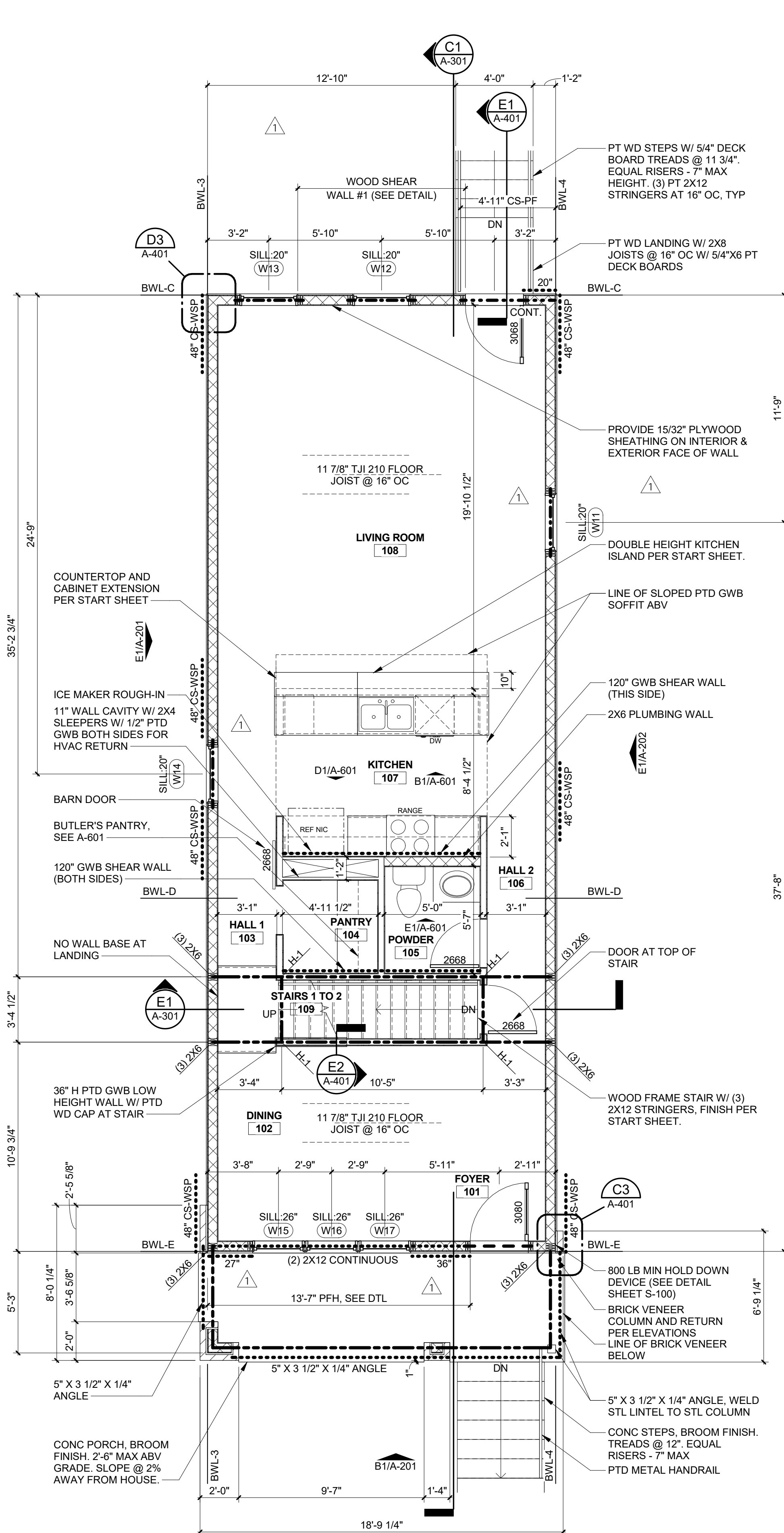
CLIENT: LOPEZ-NOLD  
04.1.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

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SAINT LOUIS, MO 63110

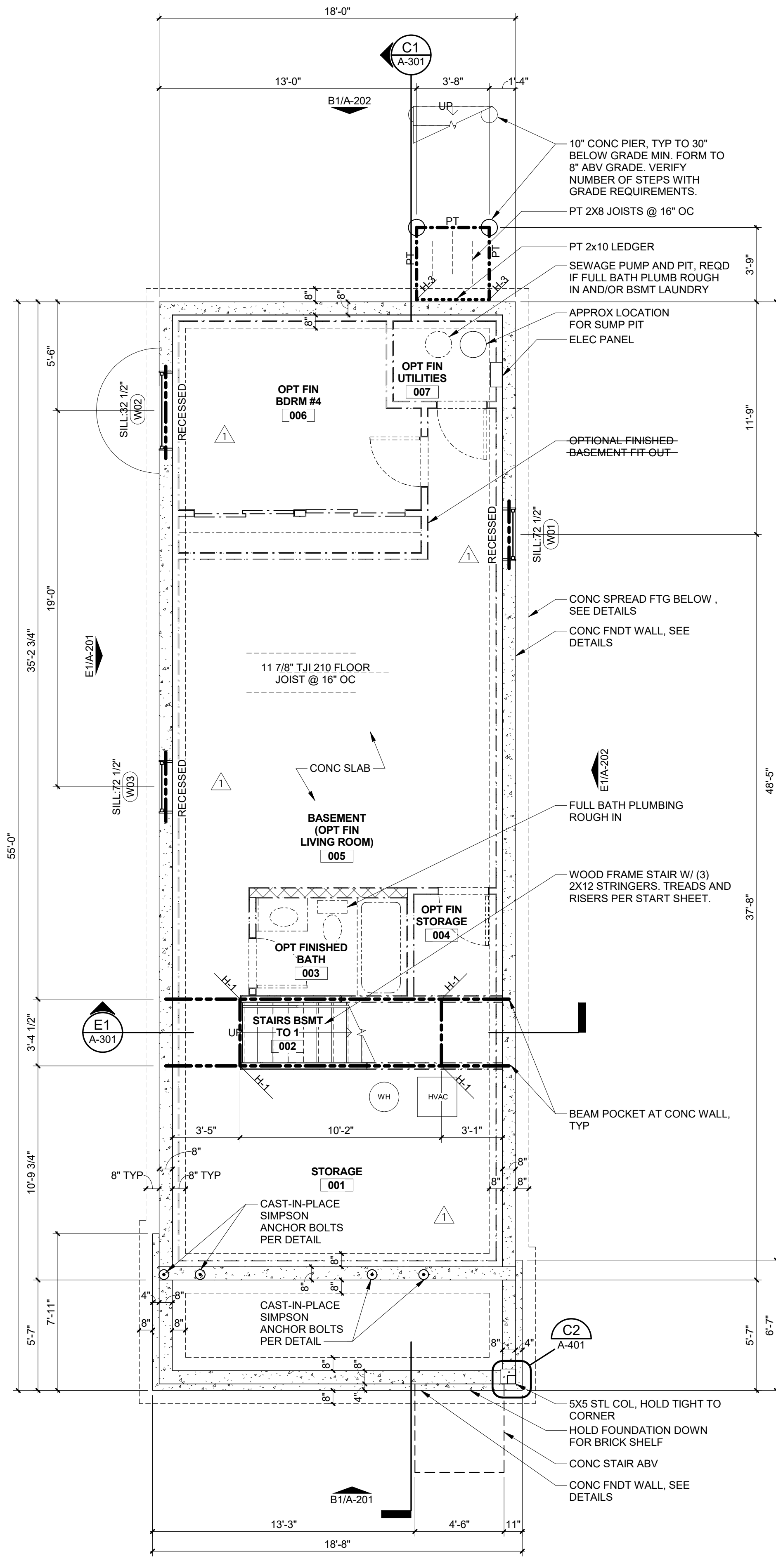
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ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: TYPICAL IRC TABLES

SHEET  
**A-003**





E1	FIRST FLOOR PLAN - 9'-0" CEILING HEIGHT
A-201	1/4" = 1'-0"














C1	BASEMENT PLAN - 8'-0" POUR
A-201	1/4" = 1'-0"

**FLOOR PLAN GENERAL NOTES:**

1. ALL INT PARTITIONS TO BE 3 1/2" (2X4 WOOD STUDS) UNO.
2. ALL EXT WALLS TO BE 1/2" OSB SHEATHING ON 5 1/2" (2X6 WOOD STUDS) UNO.
3. ALL POSTS SHALL BE A MIN 2 - 2X WALL THICKNESS UNO.
4. ALL INT DIMENSIONS SHOWN TO FACE OF STUD FRAMING.
5. DOORS TO EXT WALLS ALL SHOWN TO EXT FACE OF SHEATHING.
6. ALL INT WOOD DOOR CASINGS PER START SHEET.
7. ALL INT WOOD WALL BASE PER START SHEET.
8. DOORS TO BE INSTALLED WITH JAMB 4 1/2" FROM WALL UNO.
9. ITEMS SHOWN IN NIC STANDARD LINETYPE ARE NIC UNO.
10. GWB RETURNS AT ALL WINDOWS, TYP.
11. WINDOW WALL HEIGHT IS THE SAME HEIGHT OF THE ROUGH OPENING.
12. DRAWINGS ON THIS SHEET SHOW STANDARD CABINET LAYOUT. SEE PROJECT SPECIFIC SHOP DRAWINGS FOR ADDITIONAL INFORMATION REGARDING CABINERY.
13. PROVIDE TWO FROST FREE HOSE BIBS, LOCATION TBD.

**FLOOR PLAN LEGEND:**

	2X4 WOOD STUD WALL	H-1	SIMPSON U410
	2X6 WOOD STUD WALL	H-2	SIMPSON U210-3
	STRUCT ABOVE (SEE NOTE)	H-3	SIMPSON HUC210-2
	(2) 2X8 ABV	C-1	3"x7" 58 LBS/SF ADJ PIPE COLUMN & 42"x42"x12" CONC PAD W/ (4) #4 BOT BARS EA WAY
	(2) 2X10 ABV	C-2	3"x7" 58 LBS/SF ADJ PIPE COLUMN & 36"x36"x12" CONC PAD W/ (4) #4 BOT BARS EA WAY
	(2) 2X12 ABV	L-1	3 1/2" X 3 1/2" X 5/16" ANGLE
	(1) 3 1/4" X 9 1/4" 2.0E LVL ABV		
	(2) 1 3/4" X 11 7/8" 2.0E LVL ABV		
	(3) 2X10 ABV		
	(3) 1 3/4" X 9 1/4" 2.0E LVL ABV		
	(3) 1 3/4" X 11 7/8" 2.0E LVL ABV		

MARK	UNIT SIZE	SILL HEIGHT	ROUGH OPENING		WINDOW TYPE	FRAME TYPE	REMARKS	MULL SIZE
			W	H				
W01	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W02	4040	32 1/2"	48 3/4"	48 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR, EGRESS WINDOW.	
W03	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W11	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W12	3050	20"	36 3/4"	60 1/2"	PICTURE	ALUM CLAD		
W13	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W14	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W15	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1 & W16
W15.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15 & W16.1
W16	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15, W17, & W16.1
W16.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1, 17.1 & W16
W17	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16 & W17.1
W17.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16.1 & W17
W21	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W22	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD		
W23	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W24	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W25	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	

OWNER:  
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Saint Louis, Missouri 63110

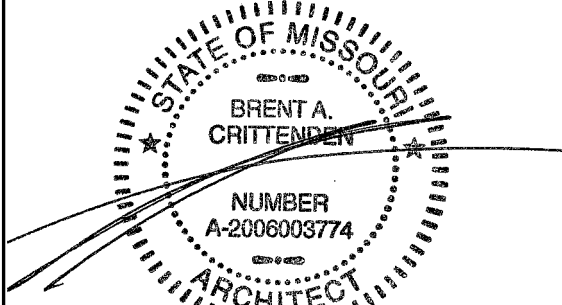


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10/31/2017



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MO# 2006003774

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1" ACTUAL

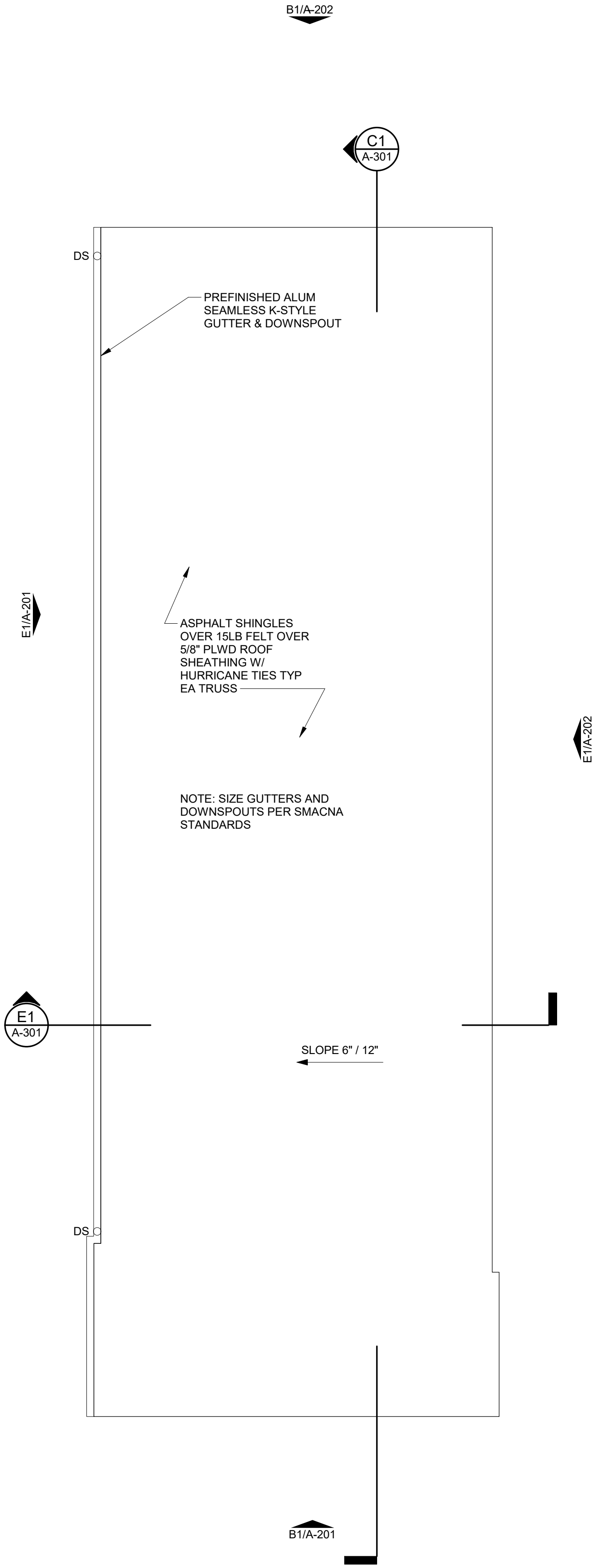
CLIENT: LOPEZ-NOLD  
041.05.23 - SINGLE-FAMILY NEW CONSTRUCTION  
4223 GIBSON AVE  
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ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: FLOOR PLANS

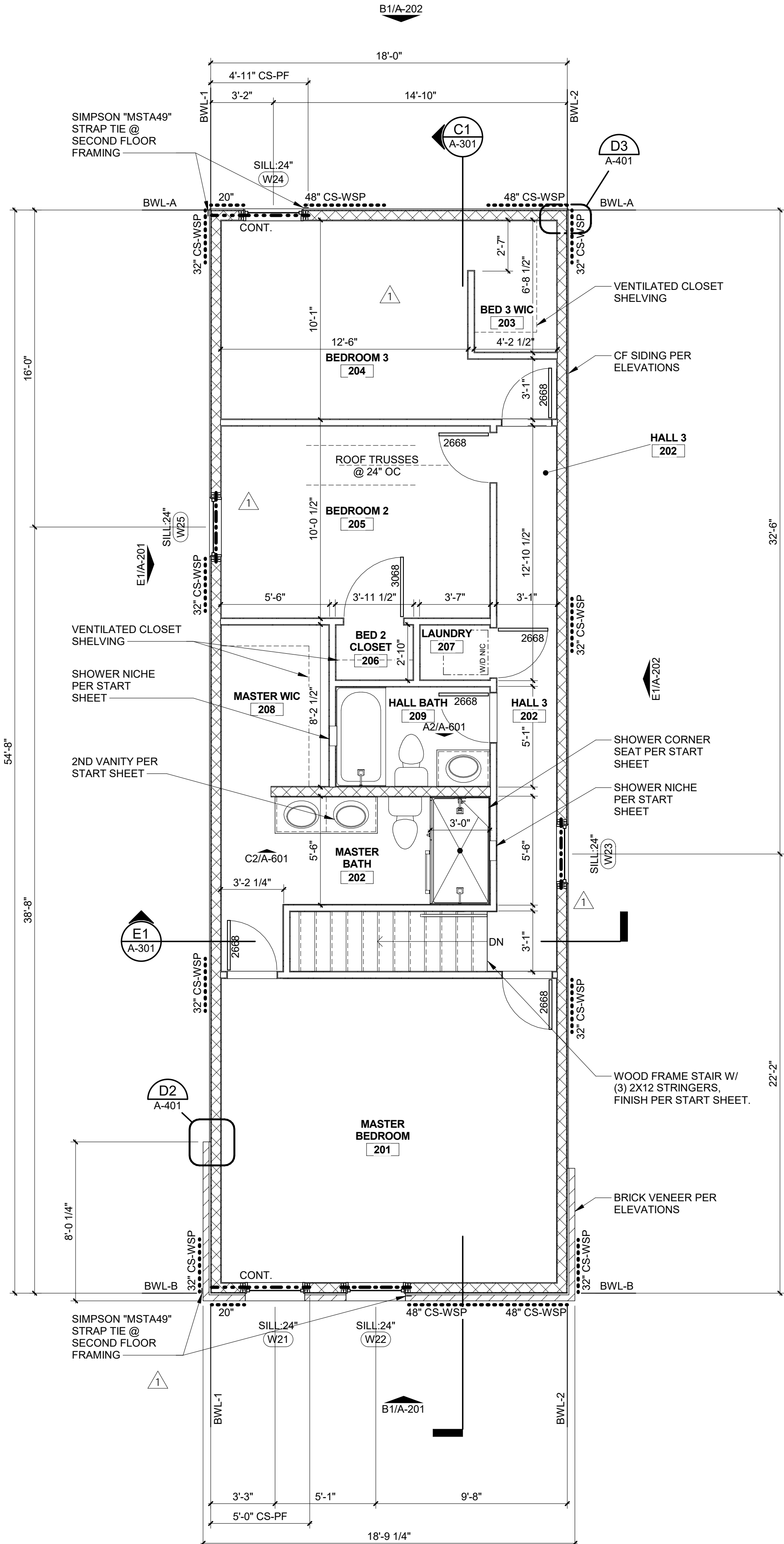
SHEET NAME: FLOOR PLANS

# A-101

E1 ROOF PLAN  
A-201 1/4" = 1'-0"



C1 SECOND FLOOR PLAN - 8'-0" CEILING HEIGHT  
A-201 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES:

- ALL INT PARTITIONS TO BE 3 1/2" (2X4 WOOD STUDS) UNO.
- ALL EXT WALLS TO BE 1/2" OSB SHEATHING ON 5 1/2" (2X6 WOOD STUDS) UNO.
- ALL POSTS SHALL BE A MIN 2 - 2X WALL THICKNESS UNO.
- ALL INT DIMENSIONS SHOWN TO FACE OF STUD FRAMING.
- ALL DIMENSIONS TO EXT WALL SHOWN TO EXT FACE OF SHEATHING.
- ALL INT WOOD DOOR CASINGS PER START SHEET.
- ALL INT WOOD WALL BASE PER START SHEET.
- DOORS TO BE INSTALLED WITH JAMB 4 1/2" FROM WALL UNO.
- ITEMS SHOWN IN NIC STANDARD LINETYPE ARE NIC UNO.
- GWB RETURNS AT ALL WINDOWS, TYP.
- WINDOW SILL HEIGHT IS THE SILL HEIGHT OF THE ROUGH OPENING.
- DRAWINGS ON THIS SHEET SHOW STANDARD CABINET LAYOUT. SEE PROJECT SPECIFIC SHOP DRAWINGS FOR ADDITIONAL INFORMATION REGARDING CABINETRY.
- PROVIDE TWO FROST FREE HOSE BIBS, LOCATION TBD.

FLOOR PLAN LEGEND:

2X4 WOOD STUD WALL	H-1 SIMPSON U410
2X6 WOOD STUD WALL	H-2 SIMPSON U210-3
STRUCT ABOVE (SEE NOTE)	H-3 SIMPSON HUC210-2
(2) 2X8 ABV	C-1 3"x7.58 LBS/SF ADJ PIPE COLUMN & 42"x42"x12" CONC PAD W/ (4) #4 BOT BARS EA WAY
(2) 2X10 ABV	
(2) 2X12 ABV	
(2) 1 3/4" X 9 1/4" 2.0E LVL ABV	C-2 3"x7.58 LBS/SF ADJ PIPE COLUMN & 36"x36"x12" CONC PAD W/ (4) #4 BOT BARS EA WAY
(2) 1 3/4" X 11 7/8" 2.0E LVL ABV	
(3) 2X10 ABV	
(3) 1 3/4" X 9 1/4" 2.0E LVL ABV	L-1 3 1/2" X 3 1/2" X 5/16" ANGLE
(3) 1 3/4" X 11 7/8" 2.0E LVL ABV	

WINDOW SCHEDULE							
MARK	UNIT SIZE	SILL HEIGHT	ROUGH OPENING W	ROUGH OPENING H	WINDOW TYPE	FRAME TYPE	REMARKS
W01	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR
W02	4040	32 1/2"	48 3/4"	48 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR. EGRESS WINDOW.
W03	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR
W11	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	
W12	3050	20"	36 3/4"	60 1/2"	PICTURE	ALUM CLAD	
W13	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	
W14	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	
W15	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD	
W15.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD	JOINED W/ 1" FACTORY MULL TO W15.1 & W16
W16	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD	JOINED W/ 1" FACTORY MULL TO W15, W17, & W16.1
W16.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD	JOINED W/ 1" FACTORY MULL TO W15.1, 17.1 & W16
W17	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD	JOINED W/ 1" FACTORY MULL TO W16 & W17.1
W17.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD	JOINED W/ 1" FACTORY MULL TO W16.1 & W17
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W22	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD	
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W24	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW
W25	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW

OWNER:  
**UIC HOMES**  
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Saint Louis, Missouri 63110

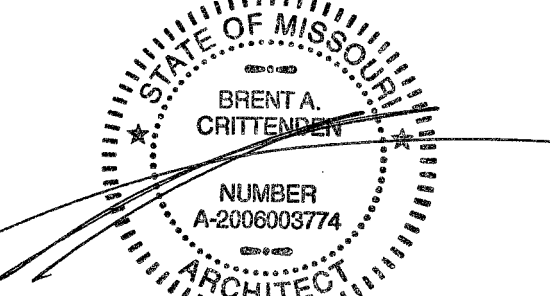


ARCHITECT:  
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10/31/2017



Brent A. Crittenden  
MO# 2006003774

REV	DATE	DESCRIPTION
1	11/21/17	PERMIT COMMENTS
2	11/21/17	BID CLARIFICATIONS

1" ACTUAL

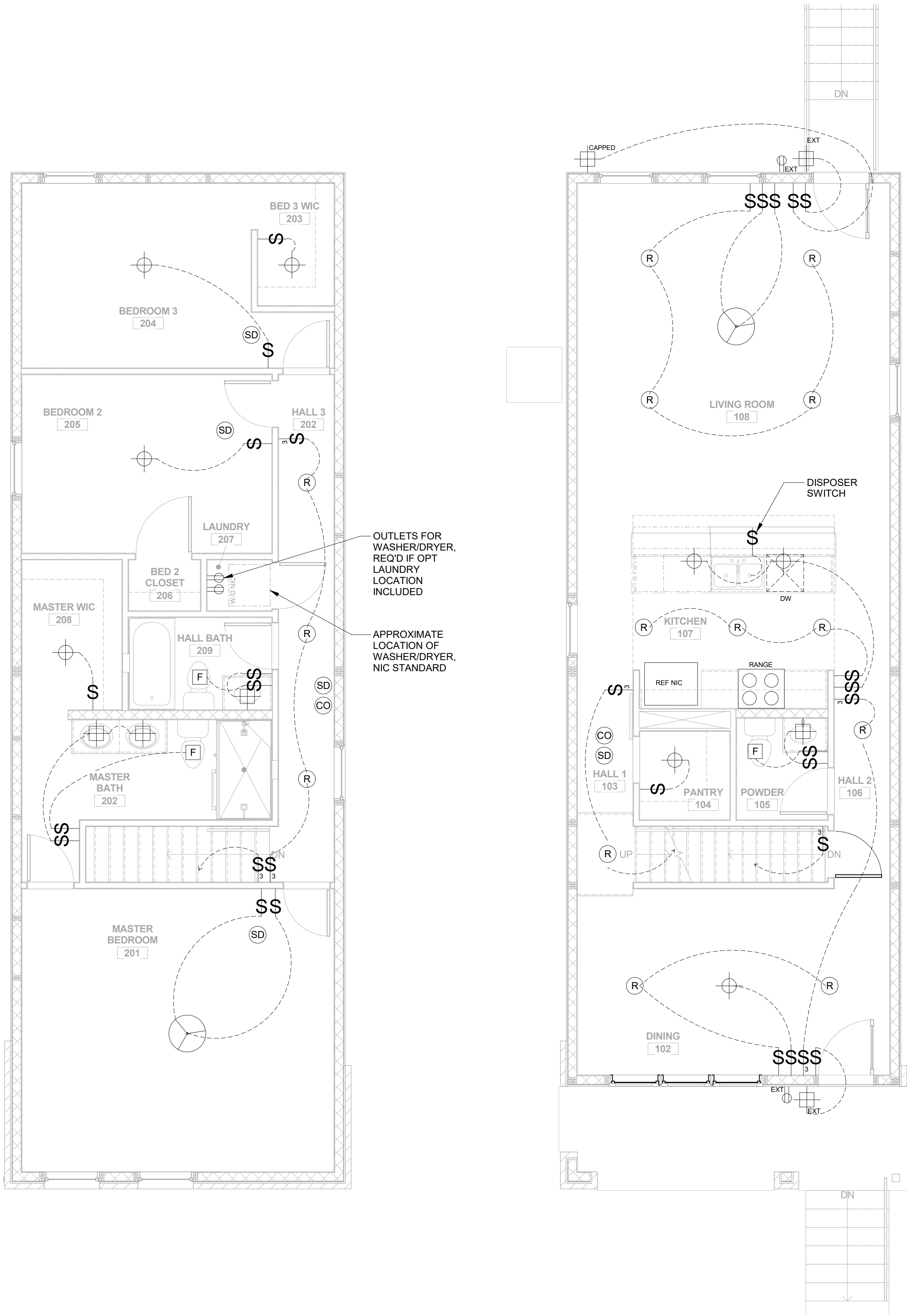
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ISSUE NAME: ISSUE FOR PERMIT  
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DRAWN BY: LAE  
SHEET NAME: FLOOR PLANS

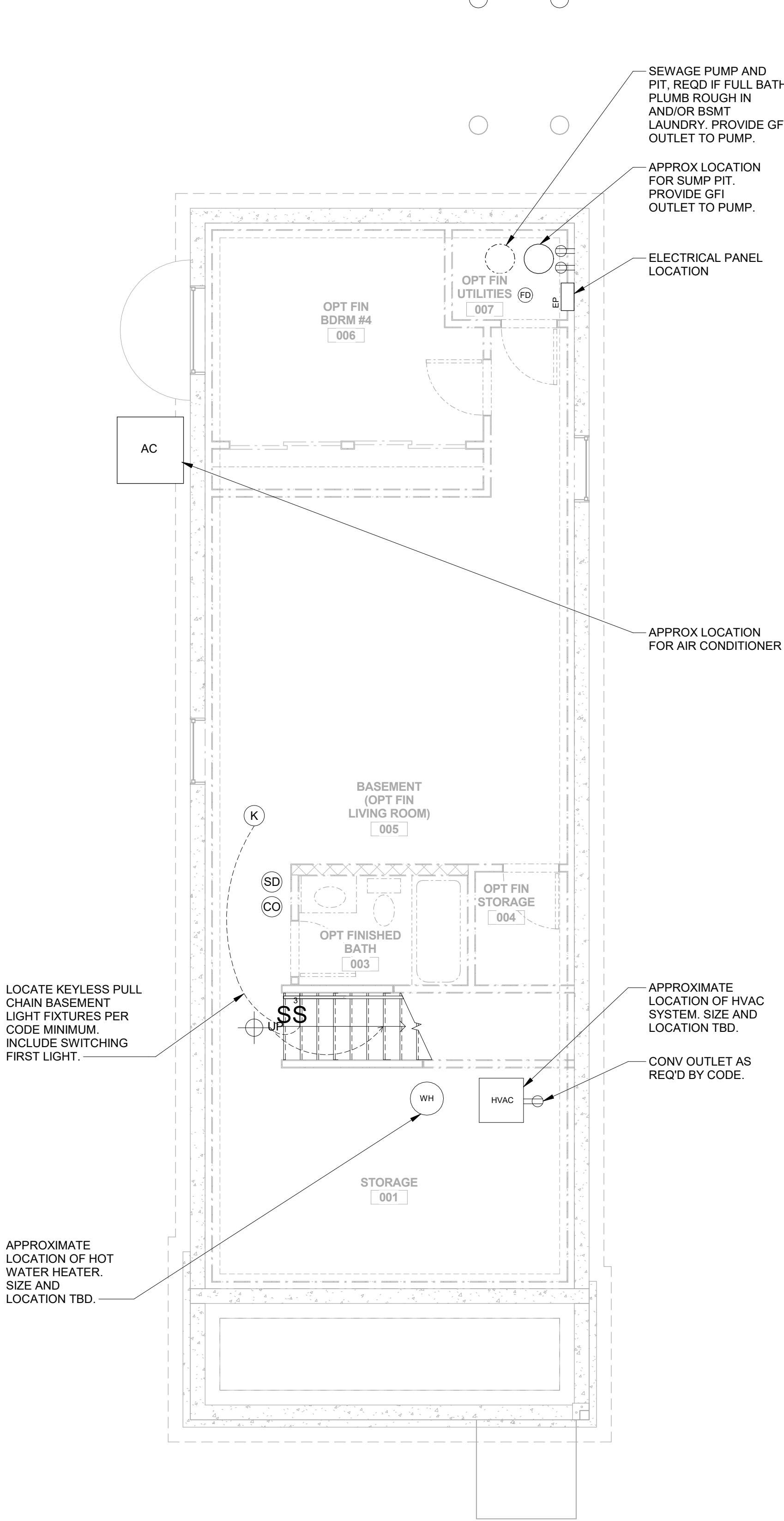
SHEET  
**A-102**

E1 SECOND FLOOR PLAN - ELECTRICAL/LIGHTING  
A-201 1/4" = 1'-0"



D1 FIRST FLOOR PLAN - ELECTRICAL/LIGHTING  
A-201 1/4" = 1'-0"

C1 BASEMENT PLAN - ELECTRICAL/LIGHTING  
A-201 1/4" = 1'-0"



- ELECTRICAL GENERAL NOTES:**
1. OUTLETS TO BE LOCATED PER MINIMUM CODE REQUIREMENTS. ADDITIONAL OUTLETS AS SHOWN ON PLANS.
  2. SEE A-801 FOR OUTLET LOCATIONS ON INTERIOR ELEVATIONS.
  3. BASEMENT LIGHTING TO BE MINIMUM PER CODE.
  4. SEE A-701 FOR GARAGE ELECTRICAL SCOPE.
  5. ALL ELECTRICAL AND LOW VOLTAGE LOCATIONS TO BE CONFIRMED AT ELECTRICAL PRE-WALK.
  6. SEE START SHEET AND ELECTRICAL CHANGE ORDER BACKUP FOR ADDITIONAL INFORMATION.
  7. ALL BATHROOM EXHAUST FANS TO BE VENTED TO THE EXTERIOR NON-DOMINANT FACADE.
- ELECTRICAL LEGEND:**
- (SD) SMOKE DETECTOR
  - (CO) CARBON MONOXIDE DETECTOR
  - (S) LIGHT SWITCH, 3-WAY WHERE SHOWN, DIMMER WHERE SHOWN
  - (L) LIGHT FIXTURE, EXTERIOR WHERE NOTED
  - (F) SCOFFCE FIXTURE, EXTERIOR WHERE NOTED
  - (R) RECESSED CAN
  - (K) KEYLESS FIXTURE
  - UC UNDER COUNTER FIXTURE
  - TR TRACK FIXTURE
  - (F) EXHAUST FAN, VENT TO EXTERIOR (NON-DOMINATE FACADE)
  - (P) DUPLEX POWER OUTLET, EXTERIOR WHERE NOTED
  - (C) CEILING FAN

OWNER:  
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Saint Louis, Missouri 63110

ARCHITECT:  
**Central Design Office, LLC**

**c/d/o**

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10/31/2017

STATE OF MISSOURI  
BRENT A. CRITTENDEN  
NUMBER A-2006003774  
ARCHITECT

Brent A. Crittenden  
MO# 2006003774

REV	DATE	DESCRIPTION

1" ACTUAL

CLIENT: LOPEZ-NOLD  
041.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

4223 GIBSON AVE  
SAINT LOUIS, MO 63110

ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: ELECTRICAL / LIGHTING PLANS

SHEET

**A-110**

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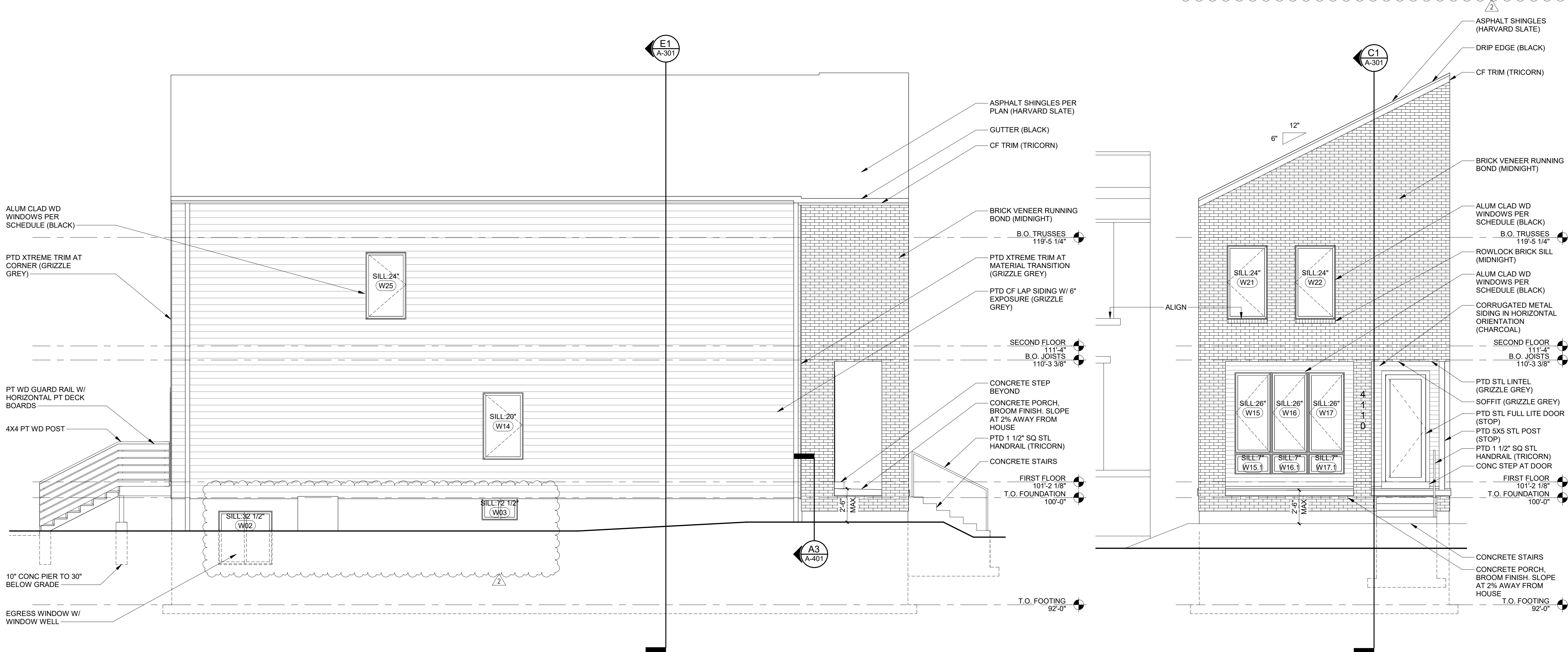
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P:\UIC\PROJECTS\04105\_Gibson - Avant Grove\041.05.23\_4223 Gibson (Lopez-Nold)\b\_Design\Drawings\4223 Gibson (Lopez-Nold).rvt

ELEVATION GENERAL NOTES:

1. PAINT ALL CEMENT FIBER FINISH PRODUCTS AT EXTERIOR FACADE.
2. ALL TRANSITIONS BETWEEN LAP SIDING AND DOORS TO BE 1X4 CF TRIM. NO TRIM AT WINDOWS.
3. PAINT ALL CF TRIM BOARDS AND METAL XTREME TRIM TRANSITION PRODUCTS THE SAME COLOR AS ADJACENT PAINTED SIDING, UNLESS NOTED OTHERWISE.
4. CF SIDING TO INSIDE FACE OF PORCH WALLS PER PLANS.
5. ALL CF LAP SIDING AND CF TRIM TO BE FIELD PAINTED.
6. REFER TO WINDOW SCHEDULE FOR ROUGH OPENING SIZES AND TO VERIFY UNIT SIZES.
7. WINDOW SILL HEIGHT IS THE SILL HEIGHT OF THE ROUGH OPENING.
8. ALUM CLAD WD WINDOWS IN ALL ELEVATIONS EXCEPT FOR BSMT WINDOWS. ALUM CLAD WINDOWS BASIS OF DESIGN IS QUAKER "BRIGHTON" SERIES.

WINDOW SCHEDULE								
MARK	UNIT SIZE	SILL HEIGHT	ROUGH OPENING W	ROUGH OPENING H	WINDOW TYPE	FRAME TYPE	REMARKS	MULL SIZE
W01	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W02	4040	32 1/2"	48 3/4"	48 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W03	2818	72 1/2"	32 3/4"	20 1/2"	SLIDER	VINYL	PROVIDED BY FOUNDATION CONTRACTOR	
W11	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W12	3050	20"	36 3/4"	60 1/2"	PICTURE	ALUM CLAD		
W13	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W14	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W15	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1 & W16
W15.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15 & W16.1
W16	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15, W17, & W16.1
W16.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1, 17.1 & W16
W17	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16 & W17.1
W17.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16.1 & W17
W21	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W22	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD		
W23	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W24	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W25	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	



E1 LEFT ELEVATION  
A-101 1/4" = 1'-0"

B1 FRONT ELEVATION  
A-101 1/4" = 1'-0"

OWNER:  
**UIC HOMES**  
1607 Tower Grove Avenue  
Saint Louis, Missouri 63110

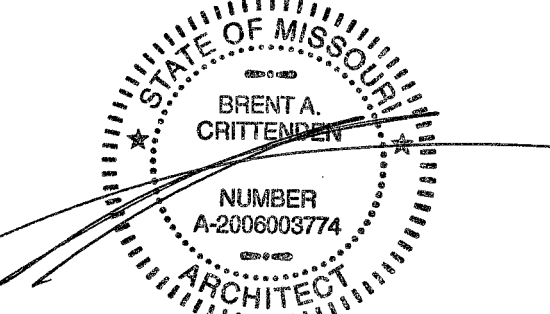


ARCHITECT:  
**Central Design Office, LLC**



1607 Tower Grove Avenue  
Saint Louis, Missouri 63110  
centraldesignoffice.com  
314.771.7300

10/31/2017



Brent A. Crittenden  
MO# 2006003774

REV	DATE	DESCRIPTION
2	11/21/17	BID CLARIFICATIONS

1" ACTUAL

CLIENT: LOPEZ-NOLD  
041.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

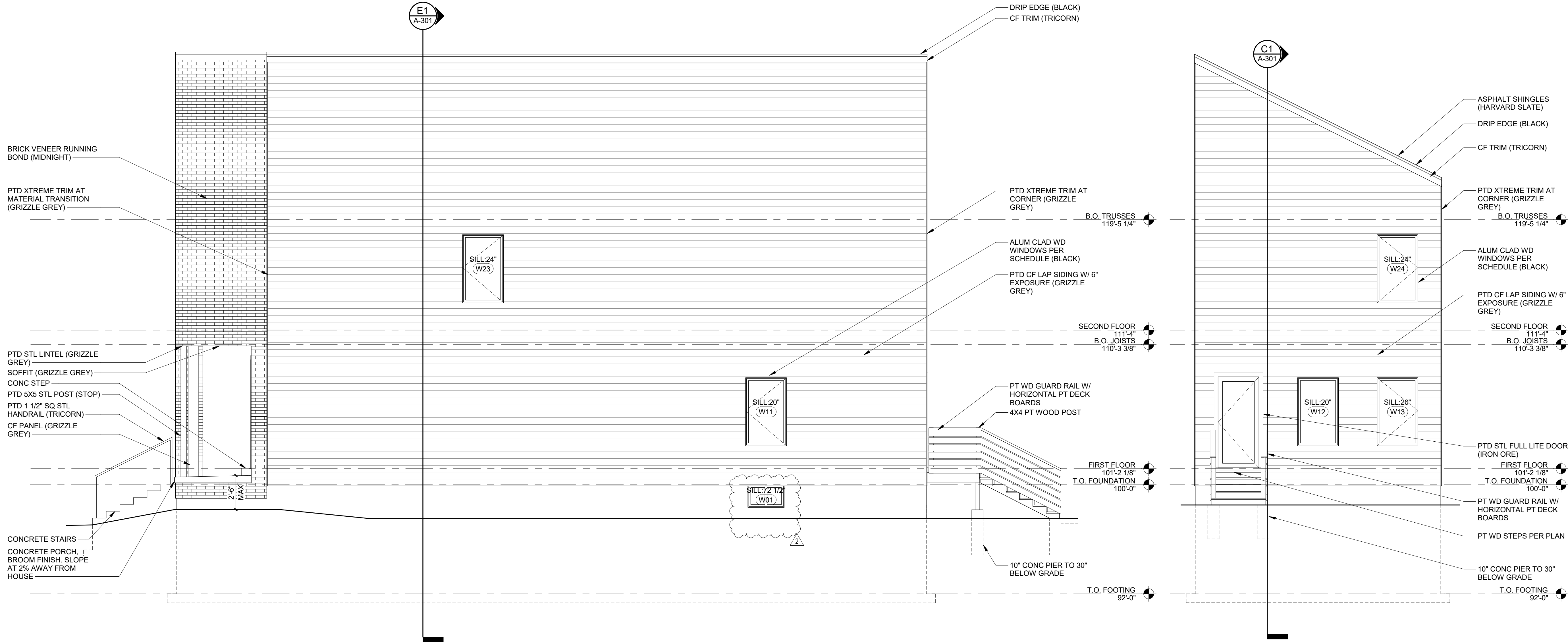
4223 GIBSON AVE  
SAINT LOUIS, MO 63110

ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: EXTERIOR ELEVATIONS

SHEET  
**A-201**

- ELEVATION GENERAL NOTES:**
1. PAINT ALL CEMENT FIBER FINISH PRODUCTS AT EXTERIOR FACADE.
  2. ALL TRANSITIONS BETWEEN LAP SIDING AND DOORS TO BE 1X4 CF TRIM. NO TRIM AT WINDOWS.
  3. PAINT ALL CF TRIM BOARDS AND METAL XTREME TRIM TRANSITION PRODUCTS THE SAME COLOR AS ADJACENT PAINTED SIDING, UNLESS NOTED OTHERWISE.
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MARK	UNIT SIZE	SILL HEIGHT	ROUGH OPENING		WINDOW TYPE	FRAME TYPE	REMARKS	MULL SIZE
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W11	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W12	3050	20"	36 3/4"	60 1/2"	PICTURE	ALUM CLAD		
W13	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W14	3050	20"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W15	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1 & W16
W15.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15 & W16.1
W16	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15, W17, & W16.1
W16.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W15.1, 17.1 & W16
W17	2860	26"	32 3/4"	72 1/2"	CASEMENT	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16 & W17.1
W17.1	2816	7"	32 3/4"	18 1/2"	PICTURE	ALUM CLAD		JOINED W/ 1" FACTORY MULL TO W16.1 & W17
W21	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W22	3056	24"	36 3/4"	66 1/2"	CASEMENT	ALUM CLAD		
W23	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD		
W24	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	
W25	3050	24"	36 3/4"	60 1/2"	CASEMENT	ALUM CLAD	EGRESS WINDOW	



E1 RIGHT ELEVATION  
A-101 1/4" = 1'-0"

B1 REAR ELEVATION  
A-101 1/4" = 1'-0"

OWNER:  
**UIC HOMES**  
1607 Tower Grove Avenue  
Saint Louis, Missouri 63110

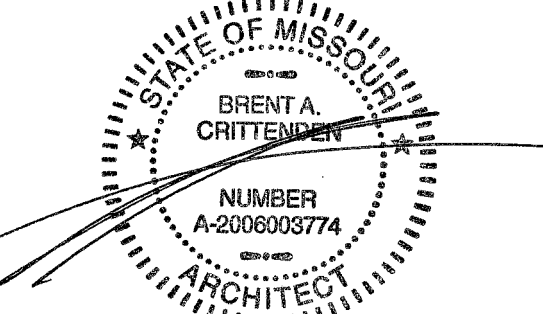


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041.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

4223 GIBSON AVE  
SAINT LOUIS, MO 63110

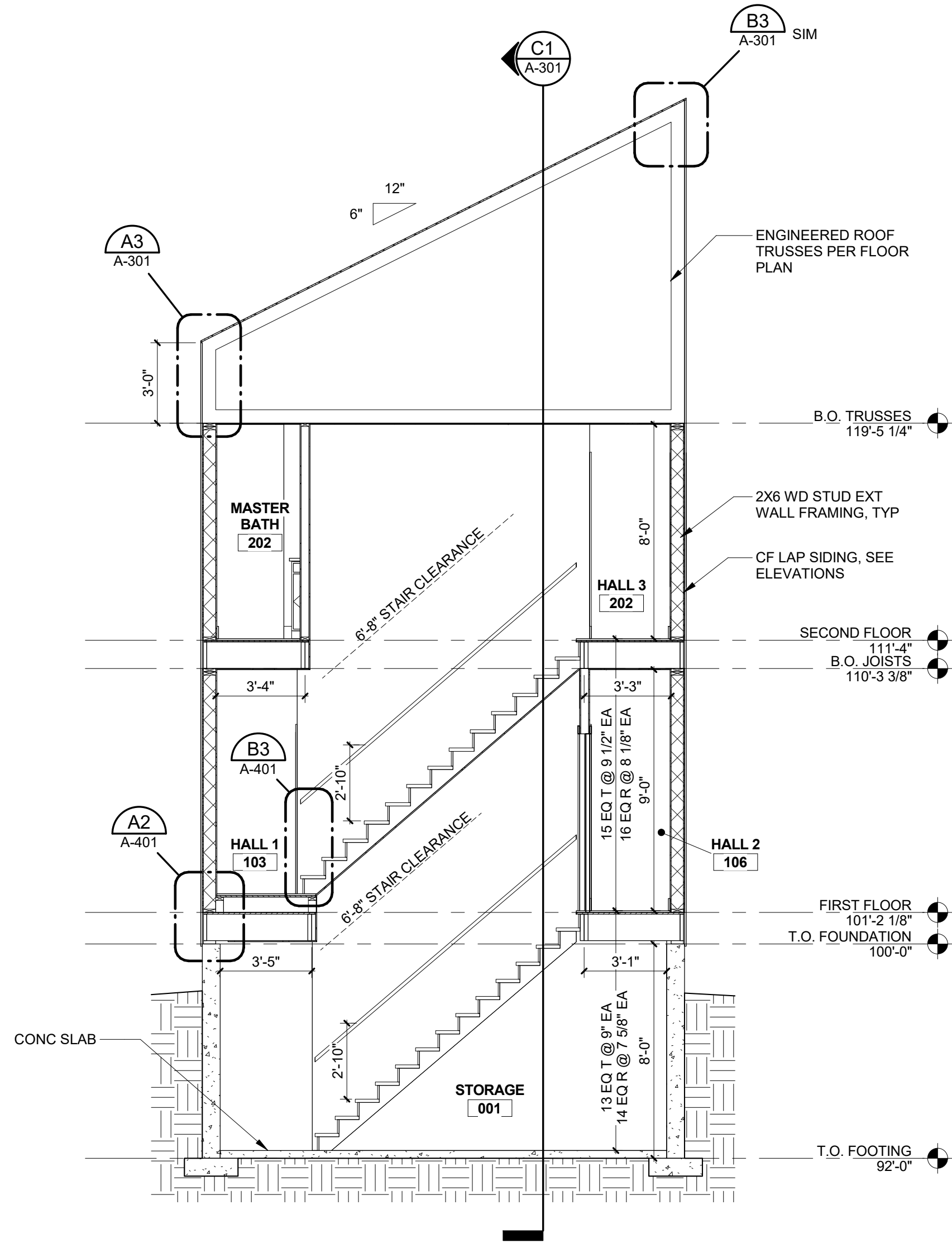
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ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: EXTERIOR ELEVATIONS

SHEET  
**A-202**

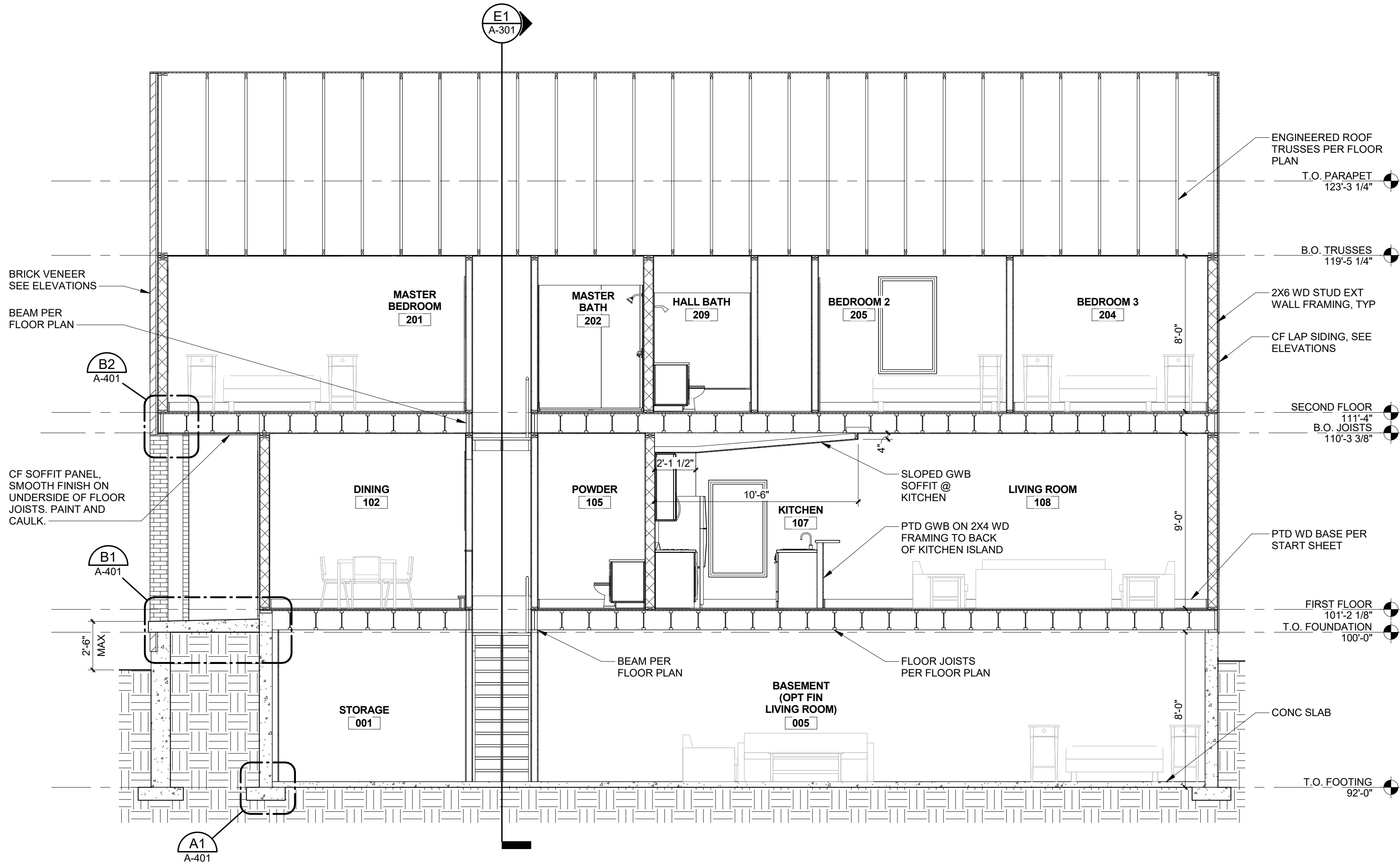


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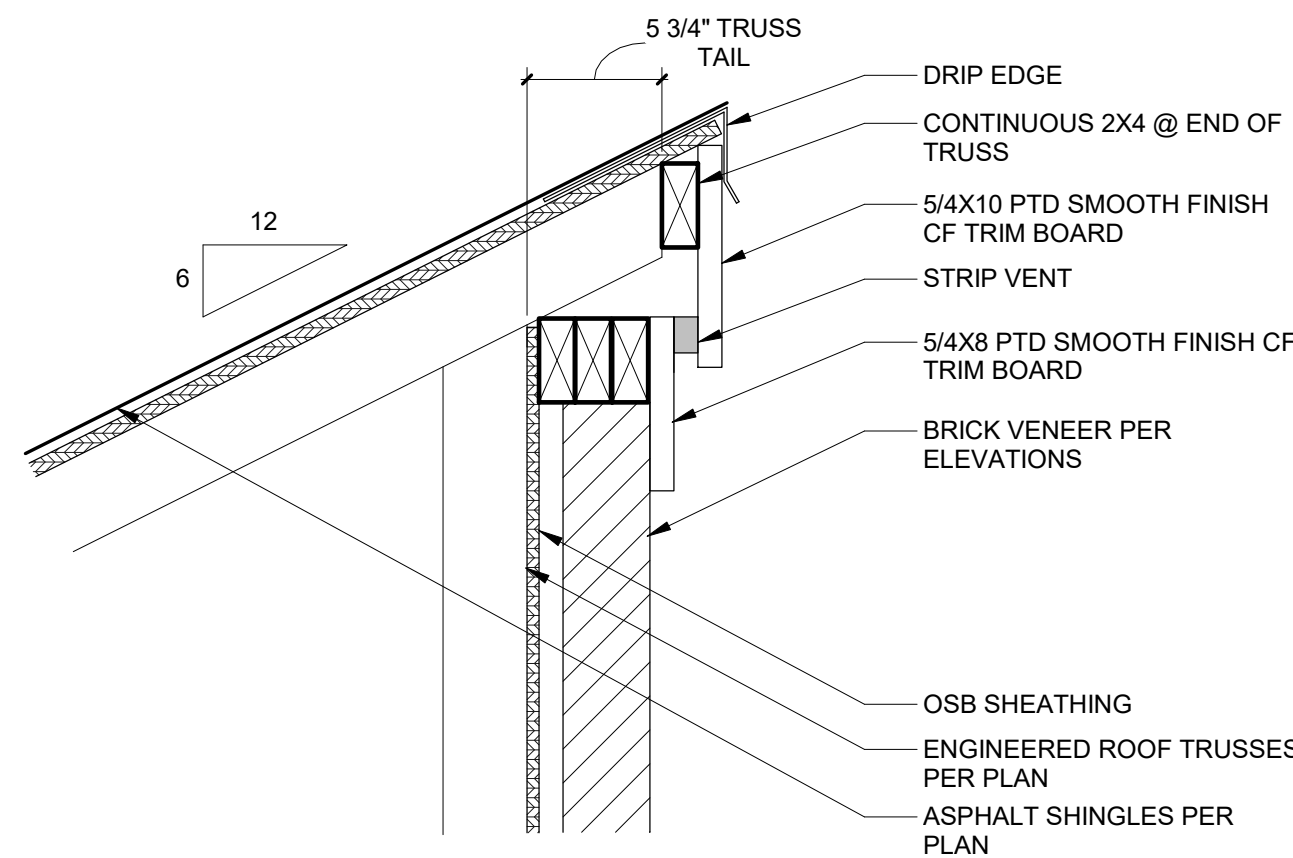
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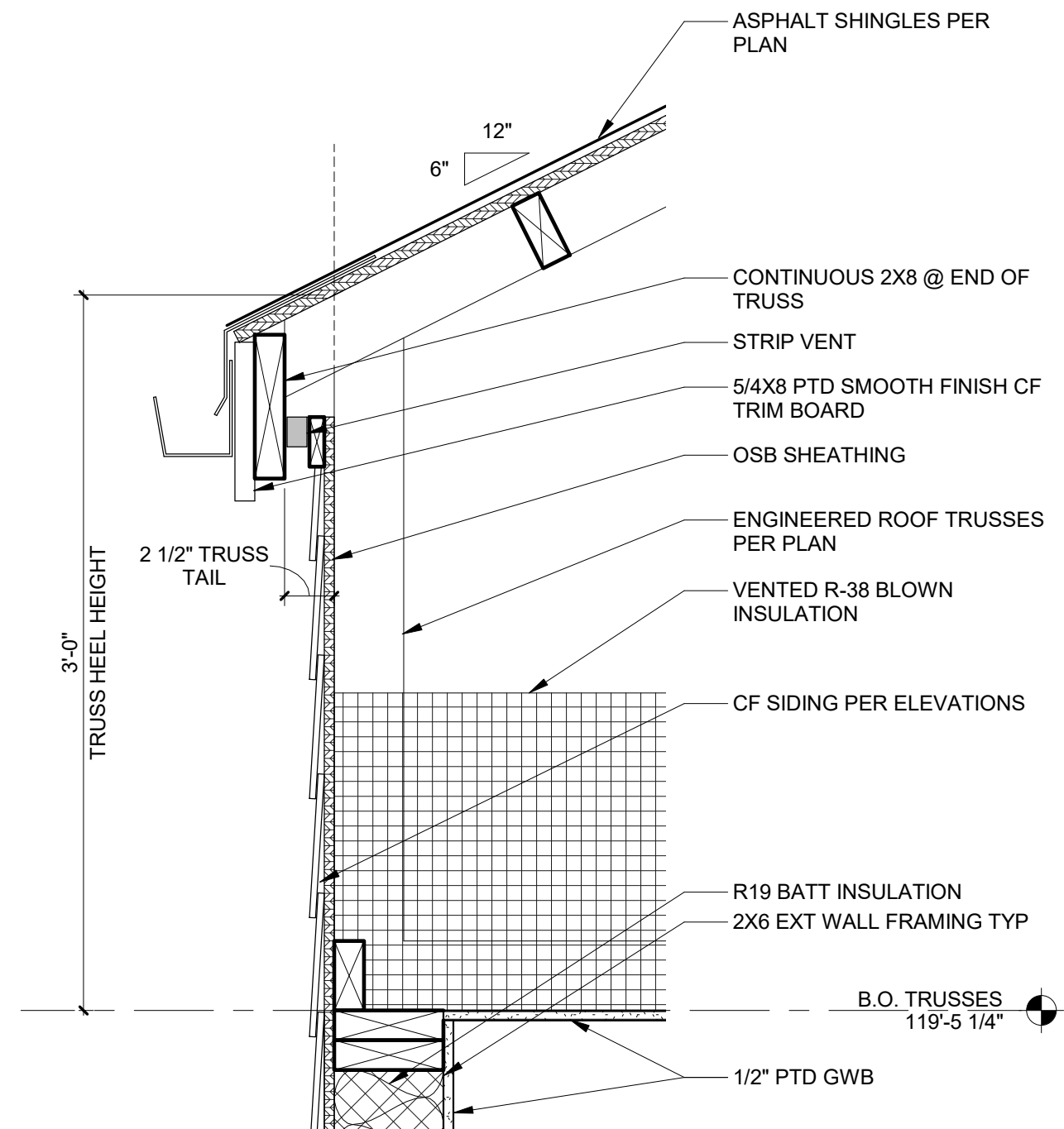
E1 SECTION LOOKING SOUTH  
A-101 1/4" = 1'-0"



C1 SECTION LOOKING EAST  
A-101 1/4" = 1'-0"



B3 SECTION DETAIL @ ROOF EAVE HIGH BRICK  
A-301 1 1/2" = 1'-0"



A3 SECTION DETAIL @ ROOF EAVE LOW SIDING  
A-301 1 1/2" = 1'-0"

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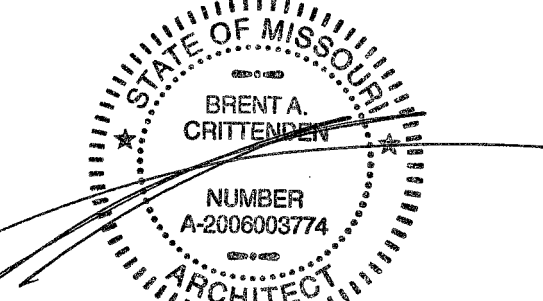


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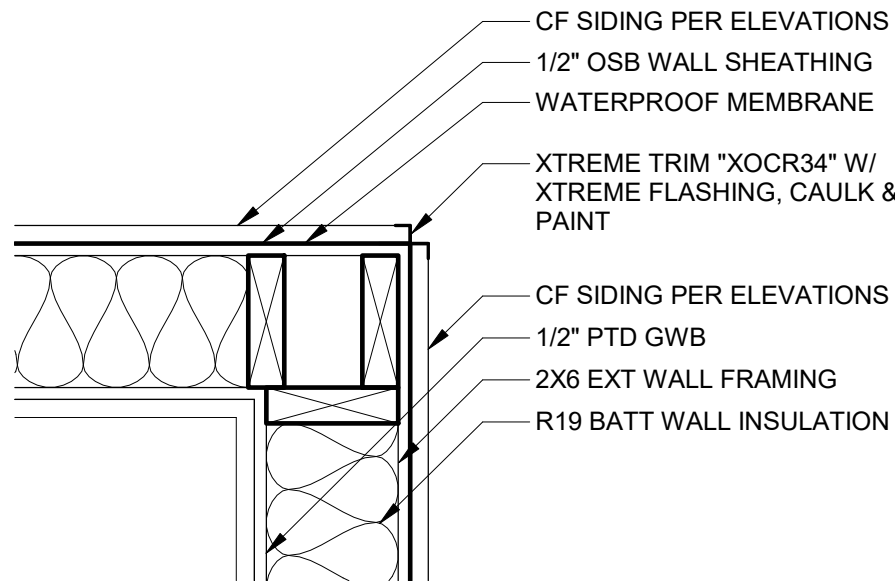
ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: BUILDING SECTIONS

SHEET  
**A-301**

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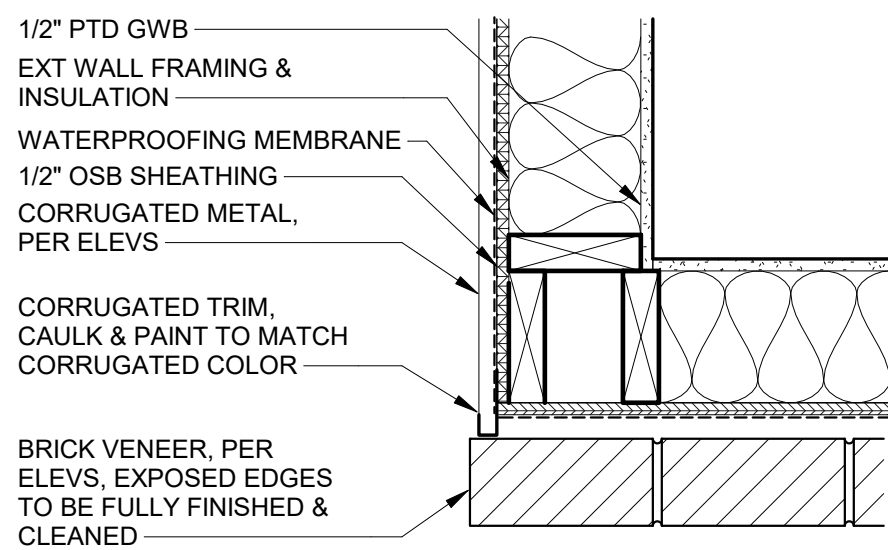
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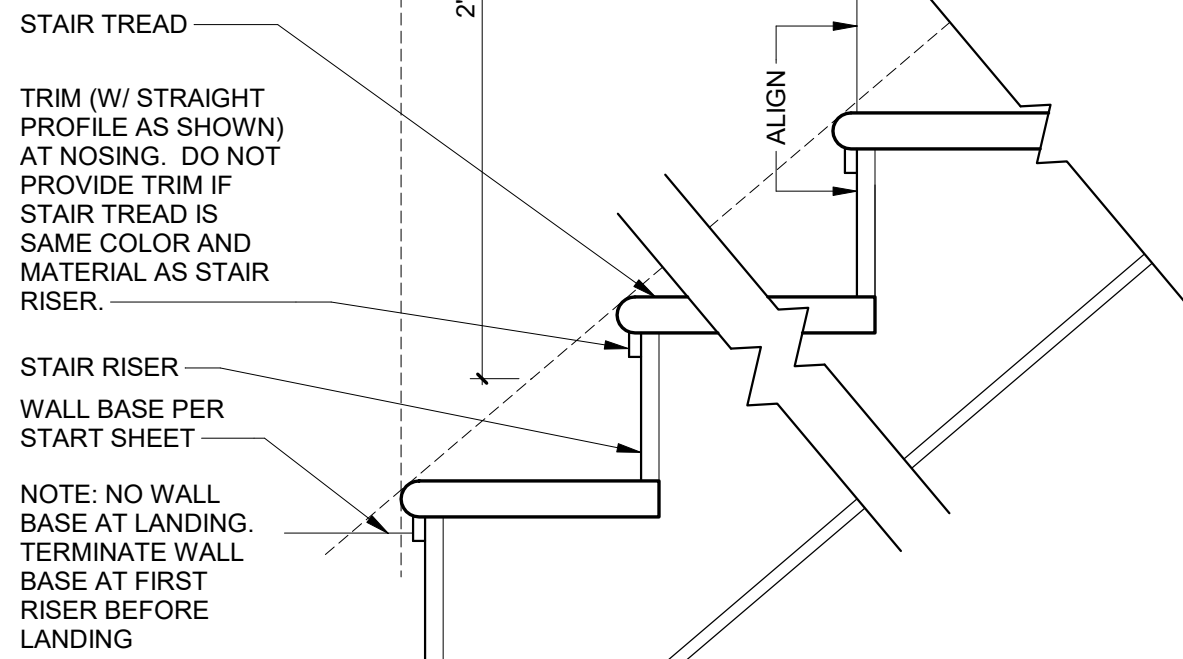
D3 PLAN DETAIL AT CF CORNER

A-101 1 1/2" = 1'-0"



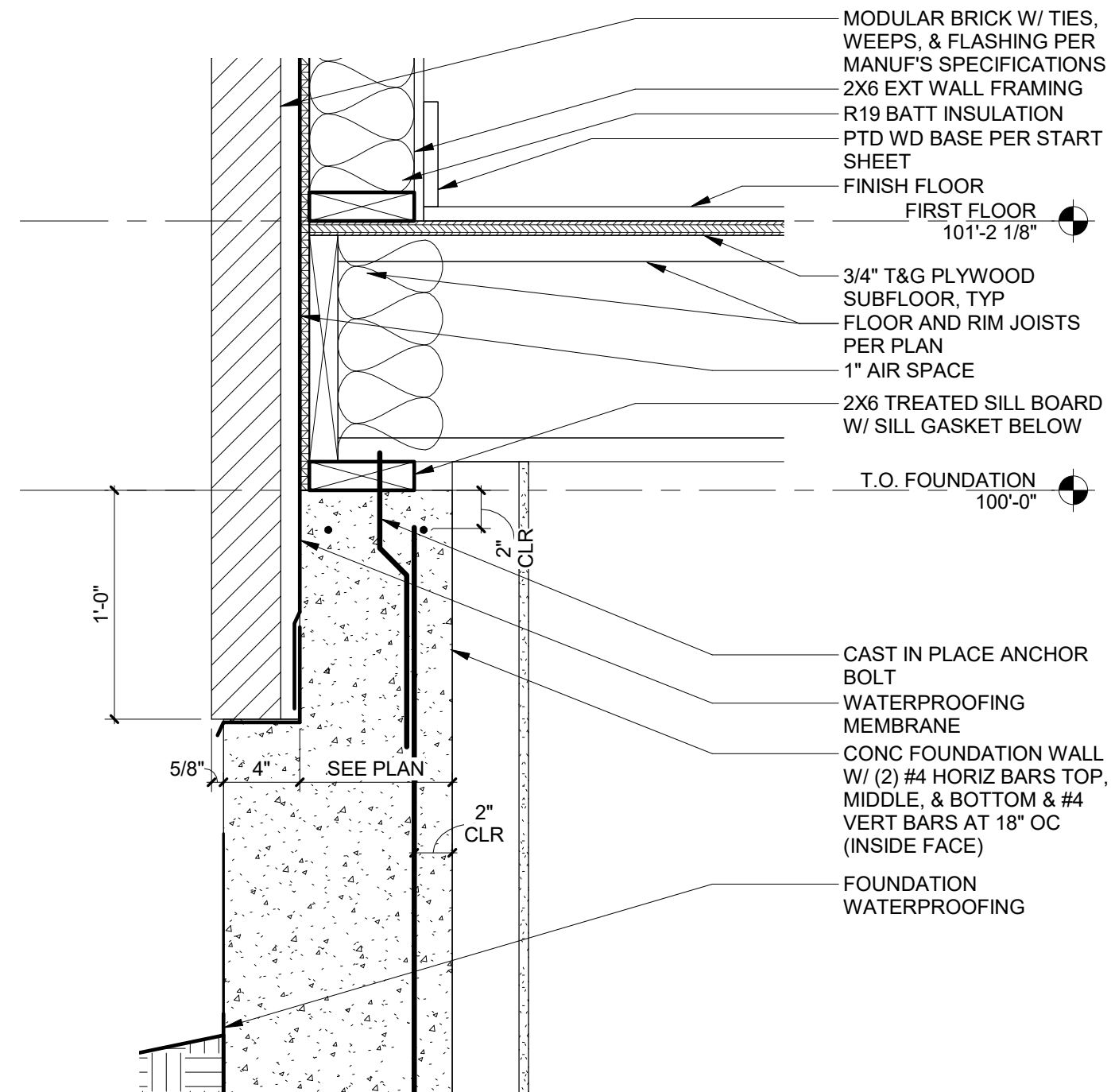
C3 PLAN DETAIL @ CORRUGATED TO BRICK CORNER

A-101 1 1/2" = 1'-0"



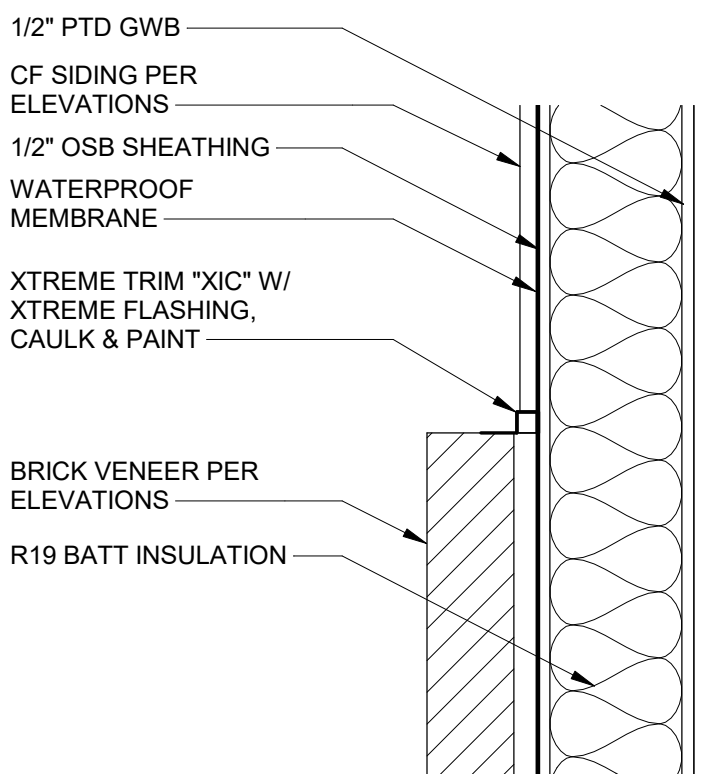
B3 TYP SECTION DETAIL @ STAIR

A-301 1 1/2" = 1'-0"



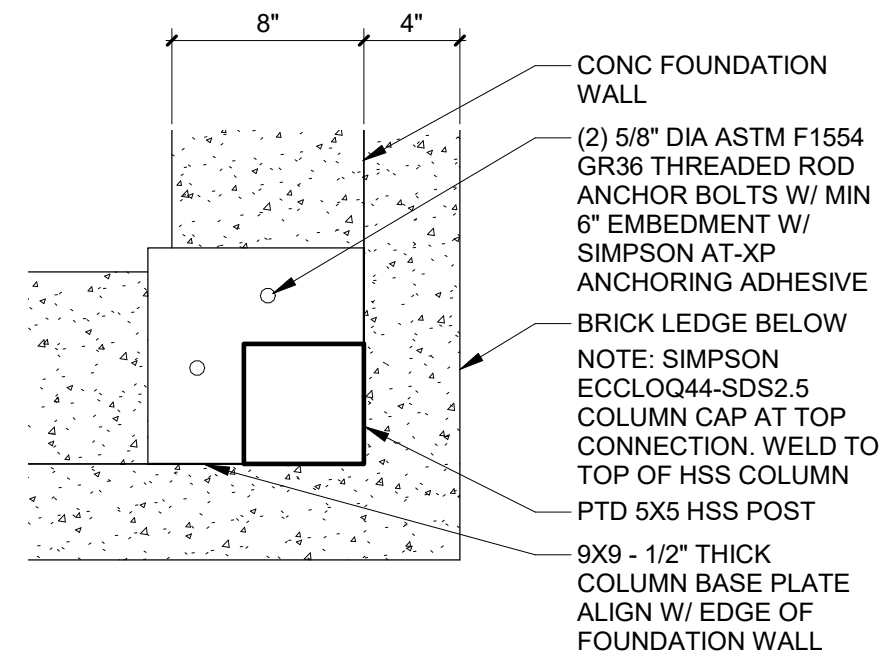
A3 TYPICAL SECTION DETAIL AT FOUNDATION/FLOOR W/ BRICK LEDGE

A-201 1 1/2" = 1'-0"



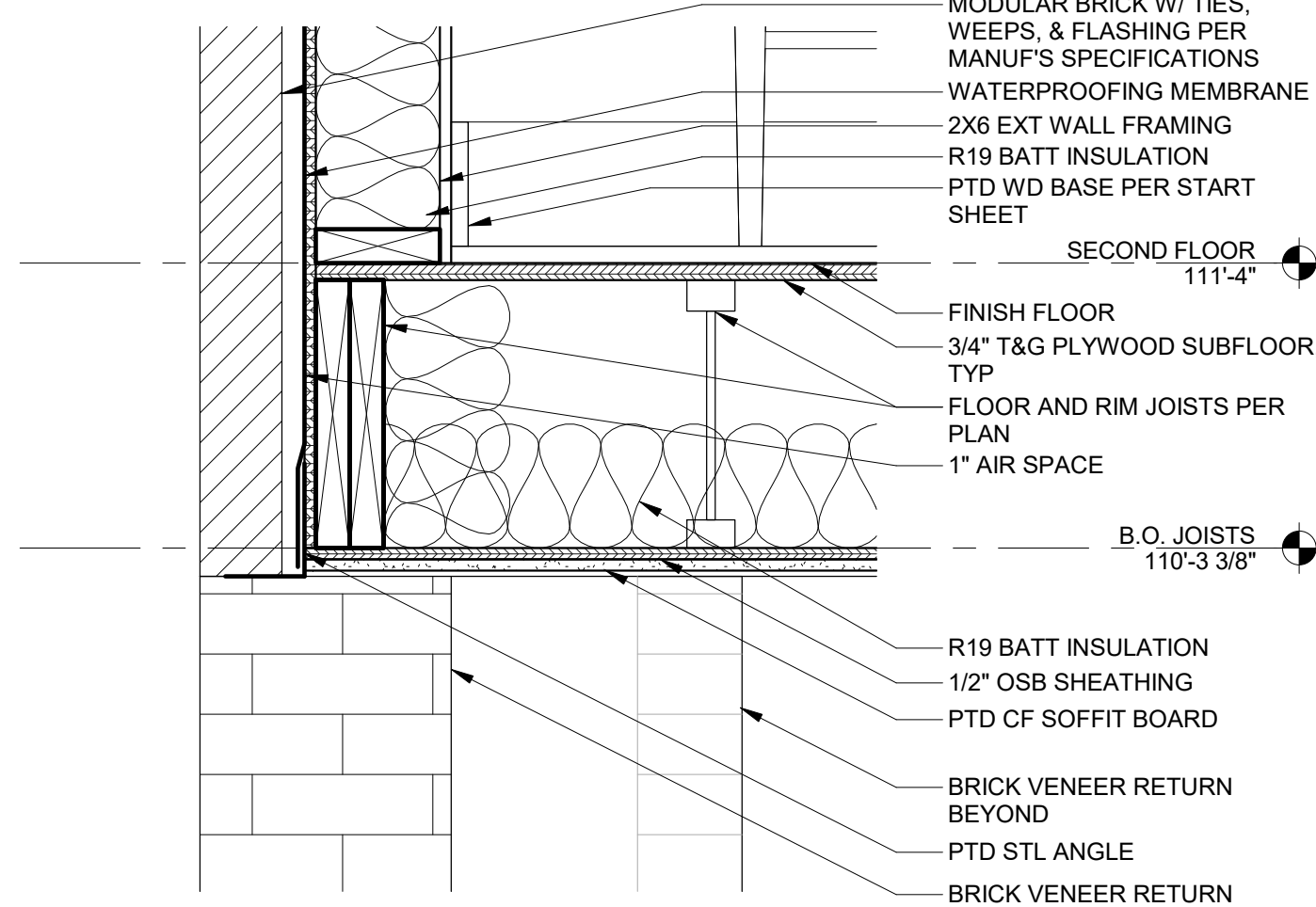
D2 PLAN DETAIL AT CF TO BRICK TRANSITION

A-102 1 1/2" = 1'-0"



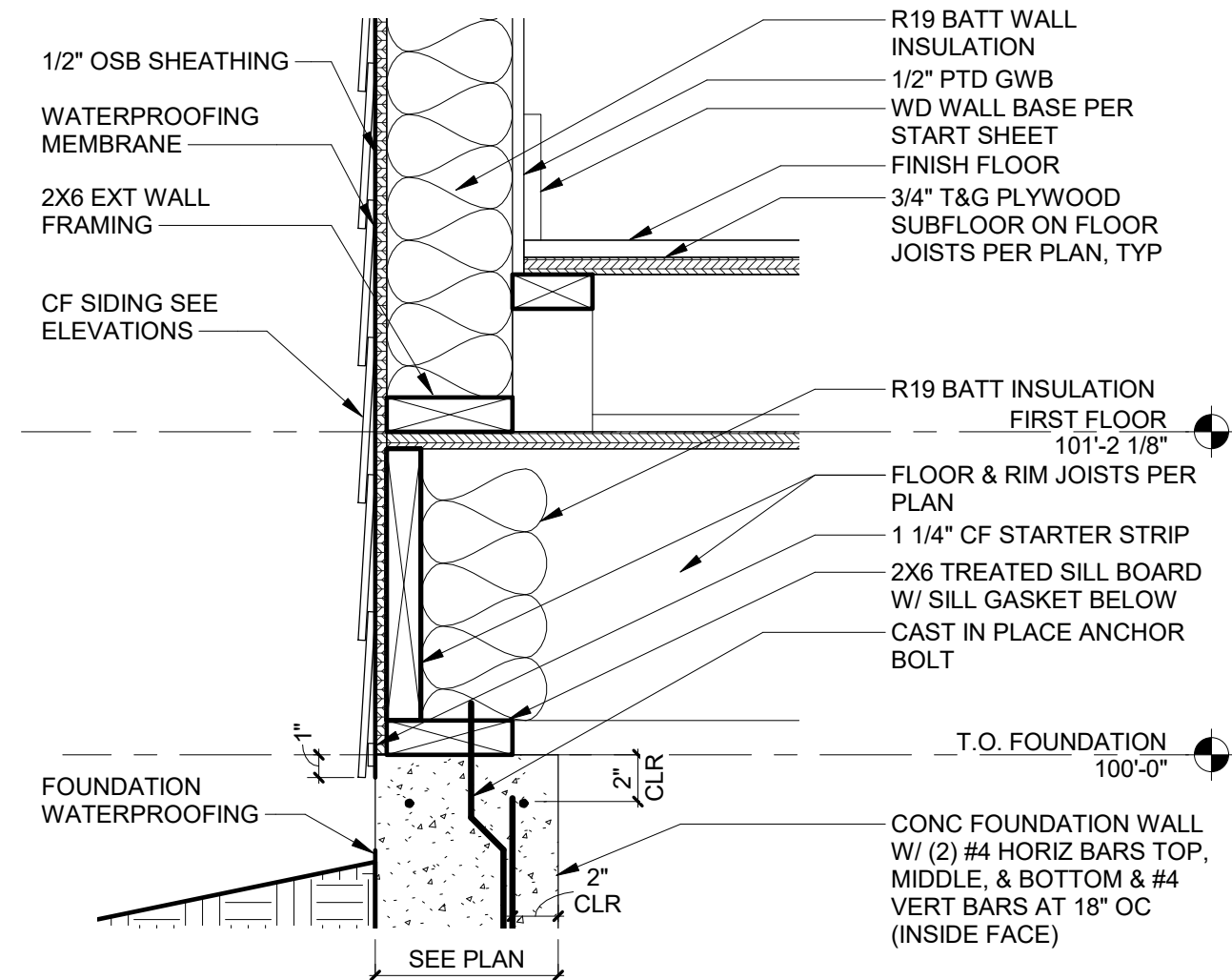
C2 PLAN DETAIL AT COLUMN ON FNDT WALL

A-101 1 1/2" = 1'-0"



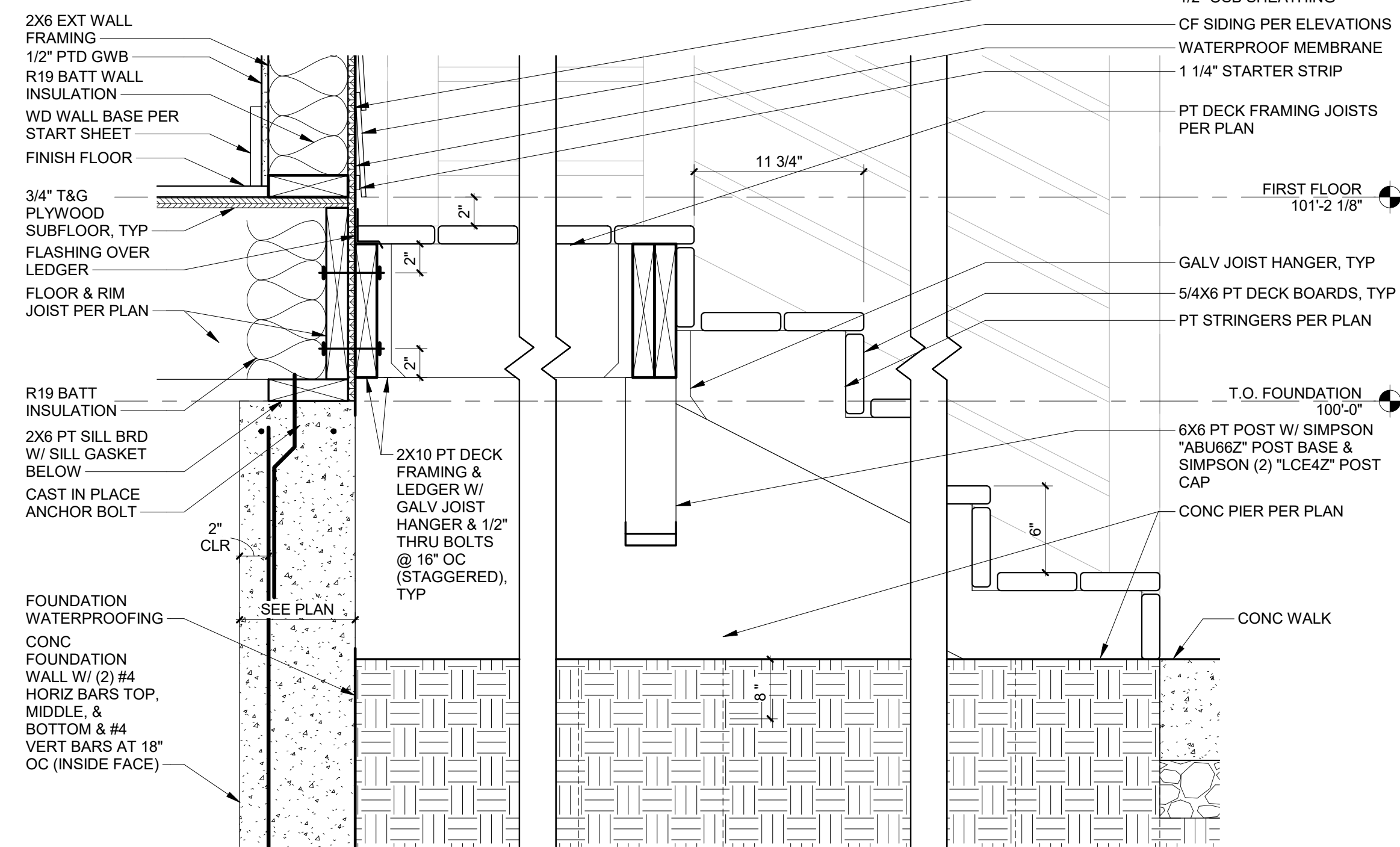
B2 SECTION DETAIL AT FRONT PORCH OVERHANG

A-301 1 1/2" = 1'-0"



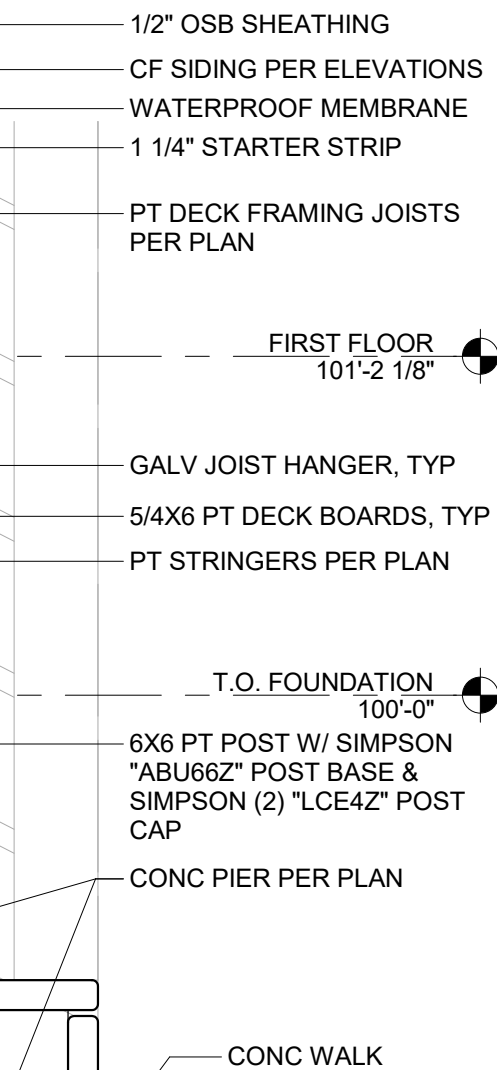
A2 TYPICAL SECTION DETAIL AT FOUNDATION/FLOOR W/ SIDING

A-301 1 1/2" = 1'-0"



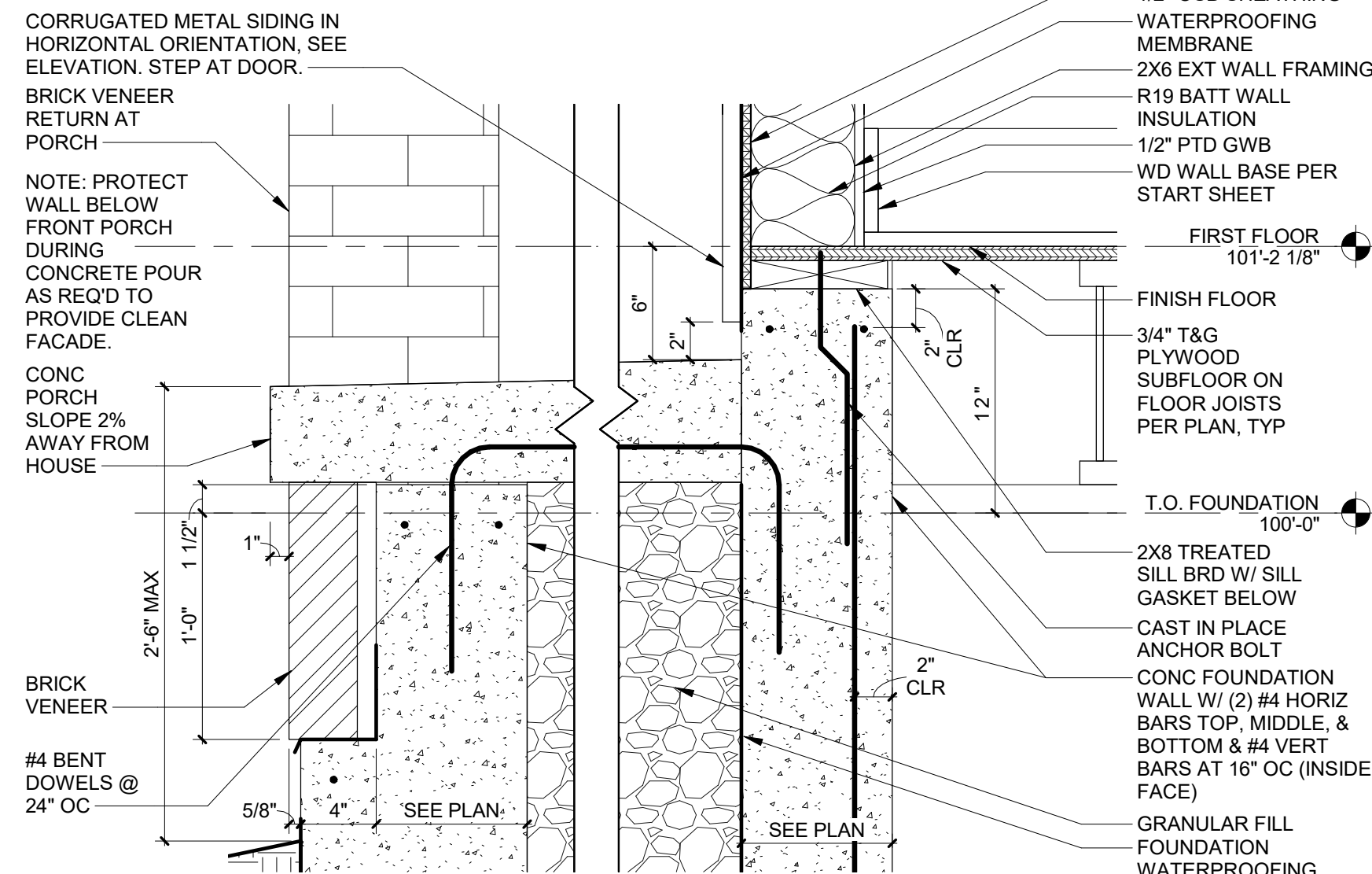
E1 SECTION DETAIL AT WOOD DECK/STAIR

A-101 1 1/2" = 1'-0"



B1 SECTION DETAIL AT FRONT PORCH

A-301 1 1/2" = 1'-0"



A1 TYPICAL SECTION DETAIL AT FOOTING/FOUNDATION WALL

A-301 1 1/2" = 1'-0"

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**UIC HOMES**  
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Saint Louis, Missouri 63110

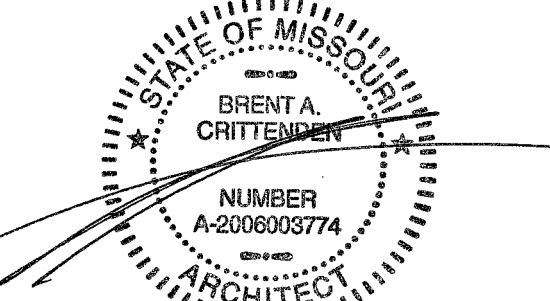


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314.771.7300

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MO# 2006003774

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041.05.23 - SINGLE-FAMILY NEW CONSTRUCTION

4223 GIBSON AVE  
SAINT LOUIS, MO 63110

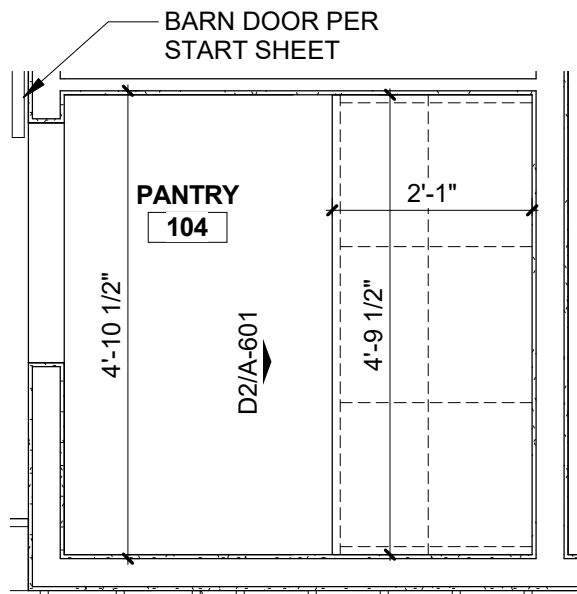
ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: DETAILS

SHEET  
**A-401**

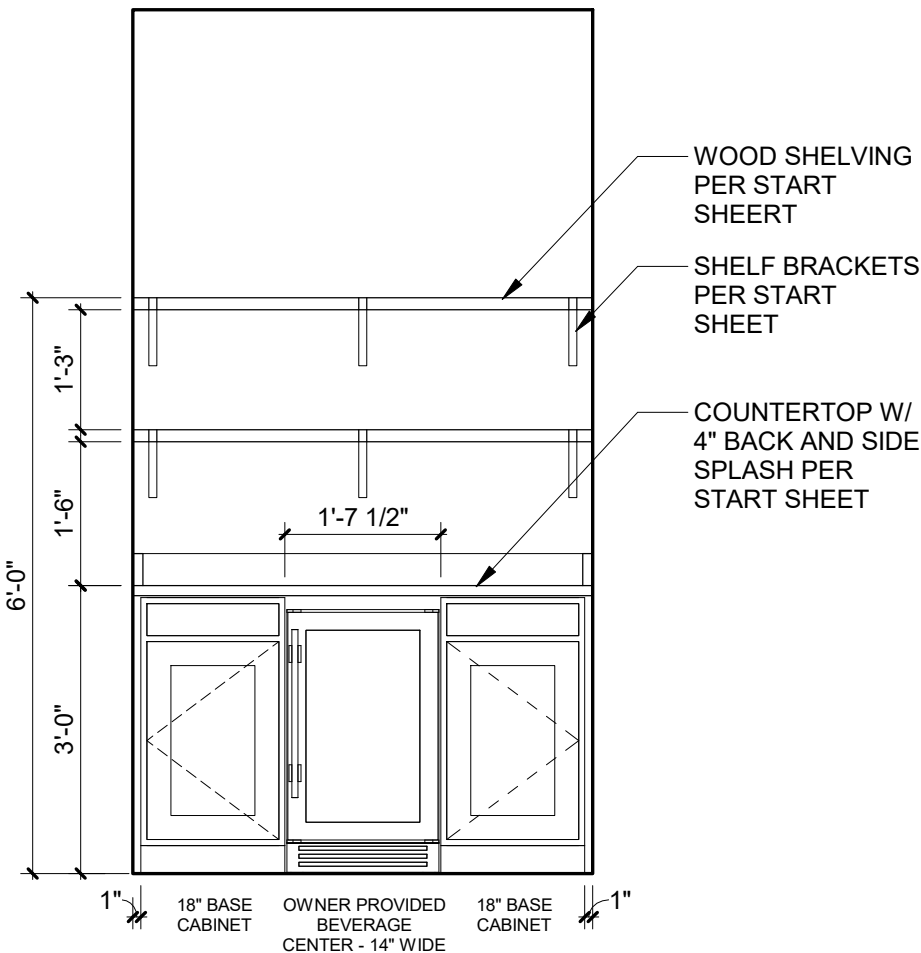


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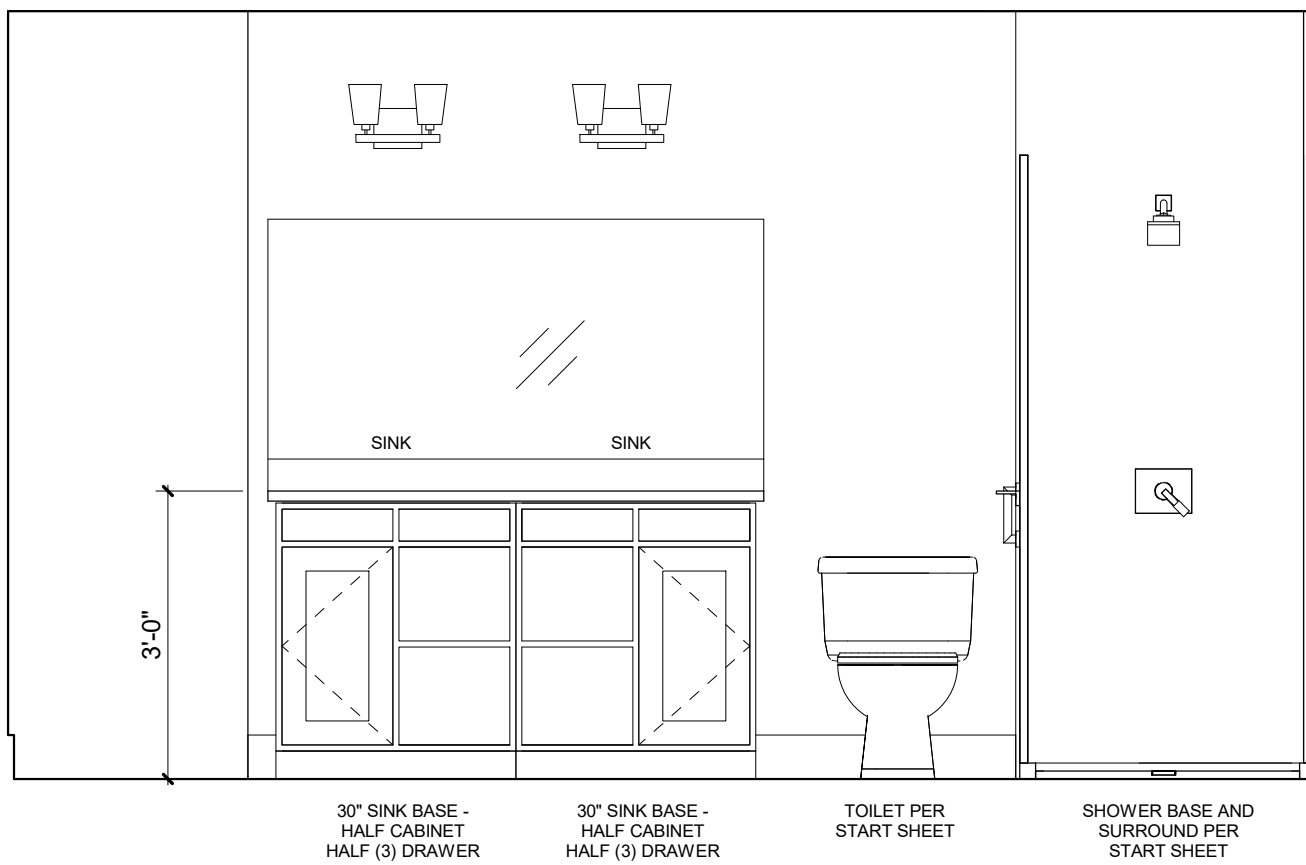
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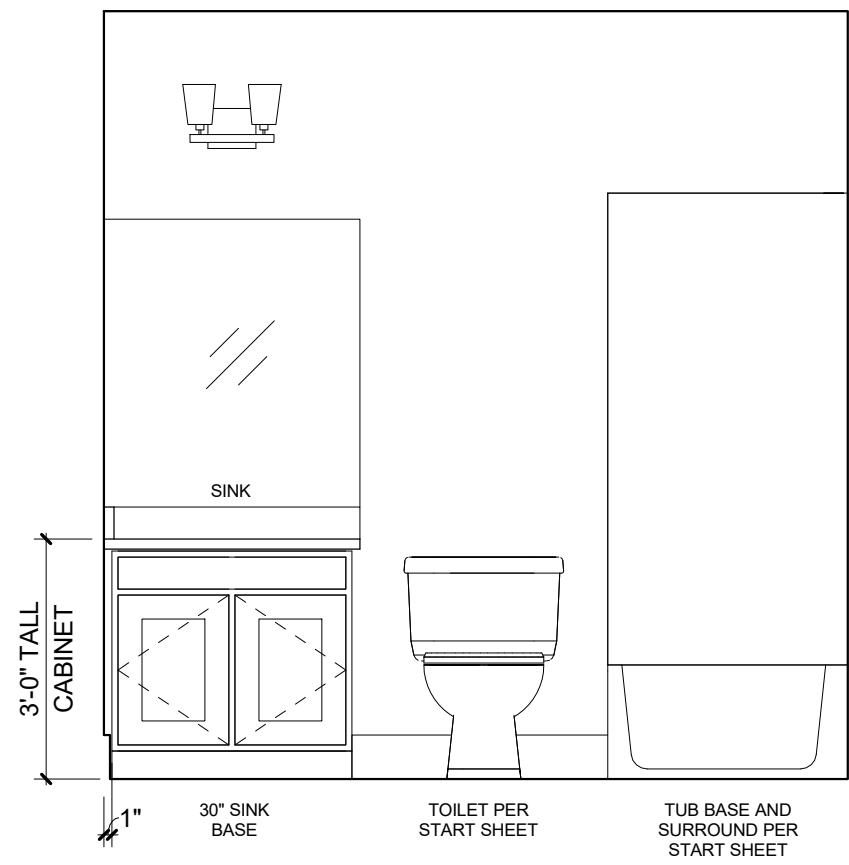
E2 BUTLER'S PANTRY PLAN  
- 1/2" = 1'-0"



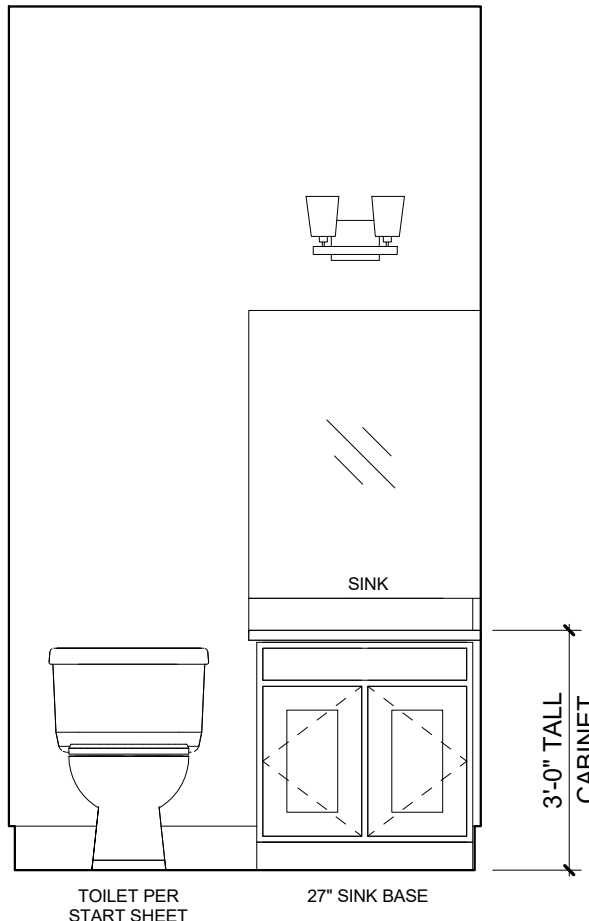
D2 BUTLER'S PANTRY ELEVATION  
A-601 1/2" = 1'-0"



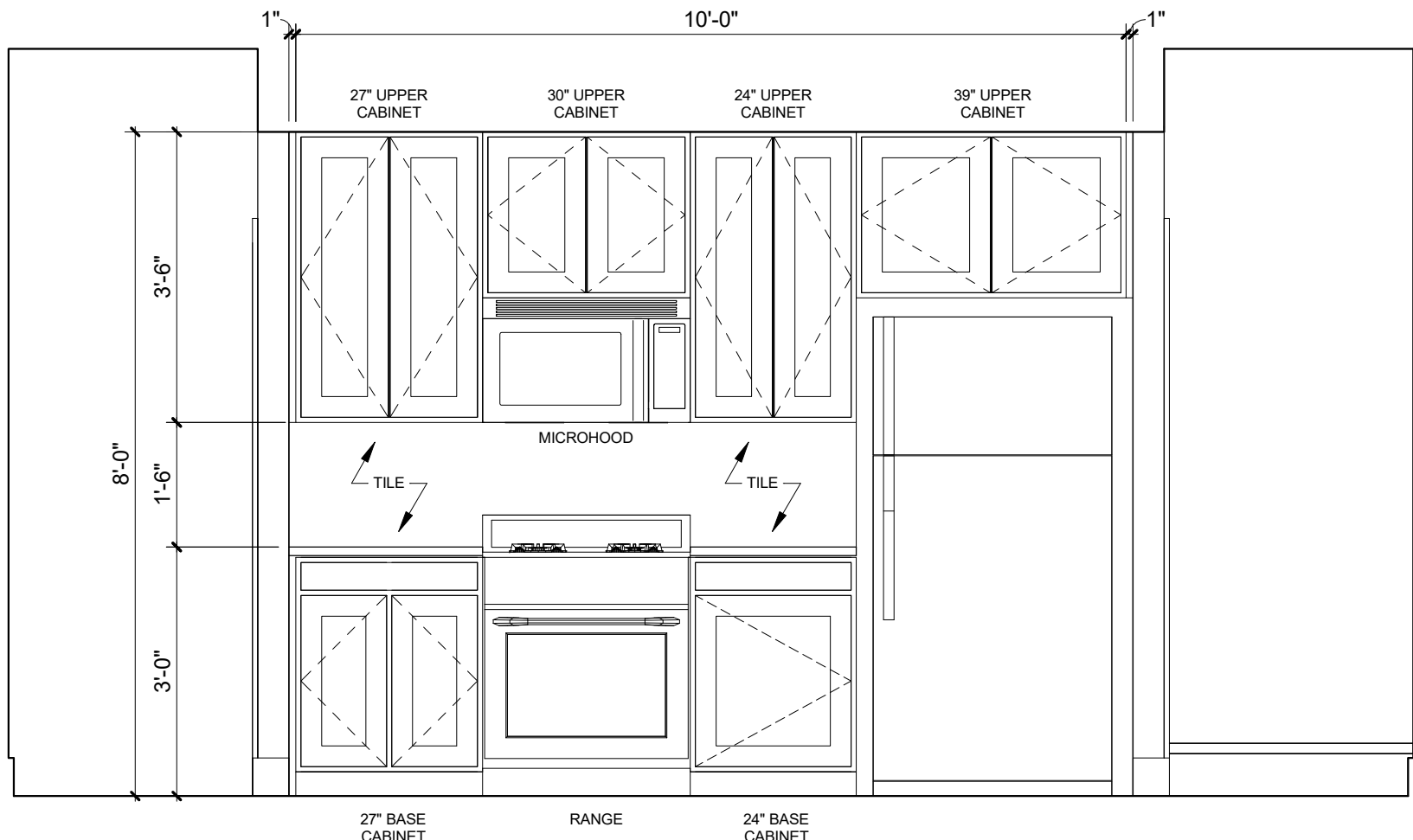
C2 MASTER BATH ELEVATION  
A-102 1/2" = 1'-0"



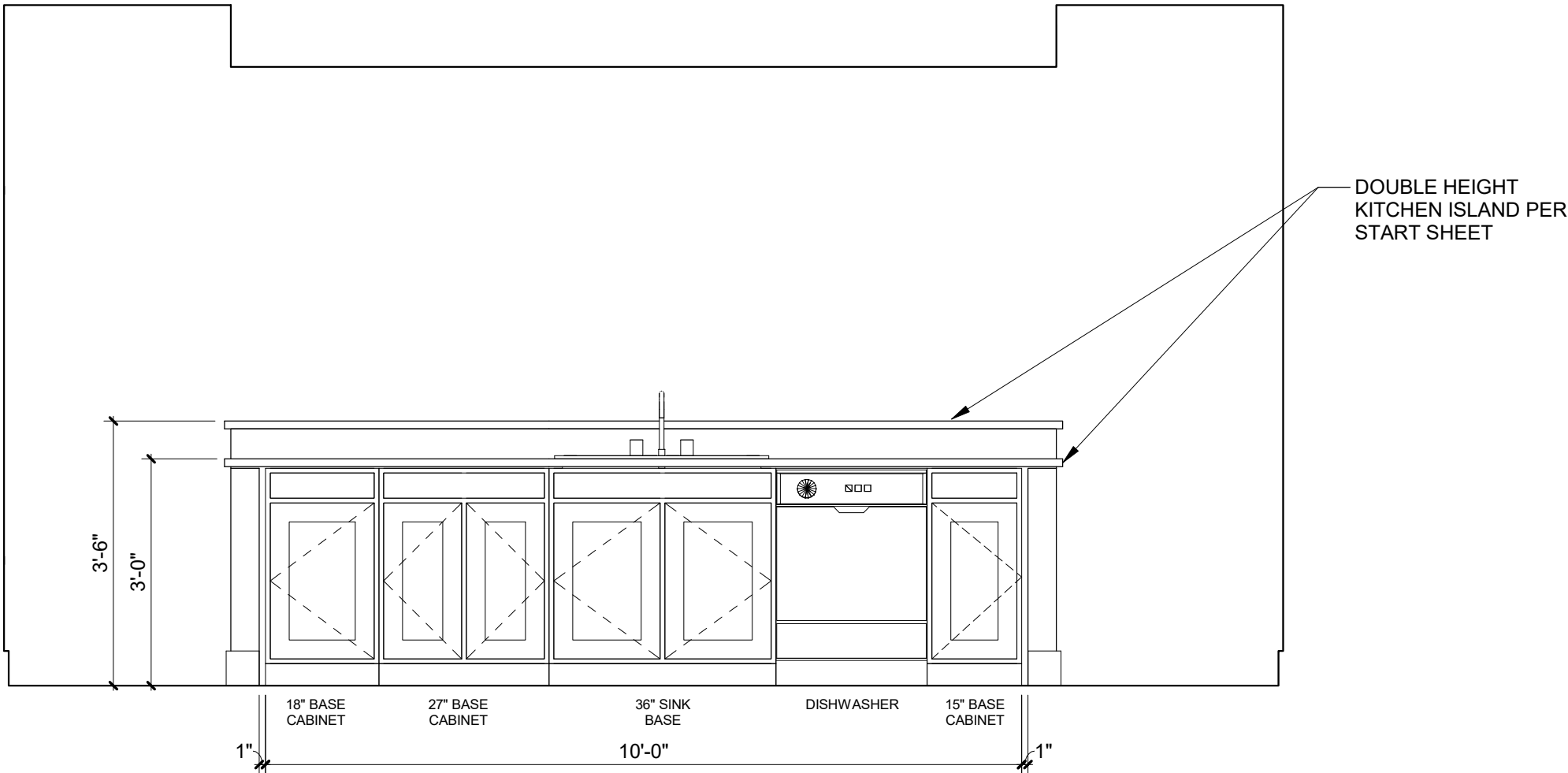
A2 HALL BATH ELEVATION  
A-102 1/2" = 1'-0"



E1 POWDER ROOM ELEVATION  
A-101 1/2" = 1'-0"



D1 KITCHEN ELEVATION  
A-101 1/2" = 1'-0"



B1 KITCHEN ISLAND ELEVATION  
A-101 1/2" = 1'-0"

INTERIOR ELEVATIONS GENERAL NOTES:

1. PRE-DRILL FILLERS TO PROVIDE TIGHT CONNECTION TO CABINET.
2. SEE START SHEET FOR ADDITIONAL INFORMATION.
3. INSTALL OWNER PROVIDED HARDWARE IN KITCHEN ONLY PER START SHEET.

OWNER:  
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1607 Tower Grove Avenue  
Saint Louis, Missouri 63110

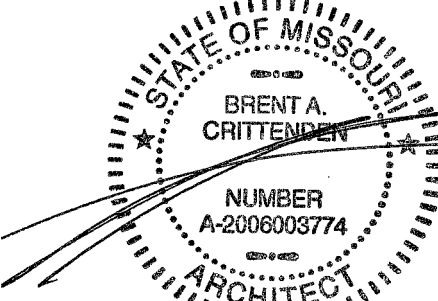


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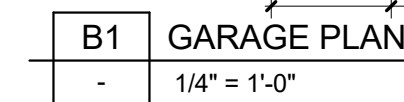
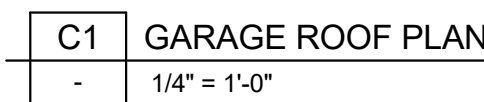
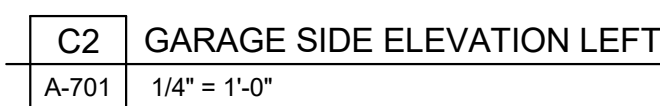
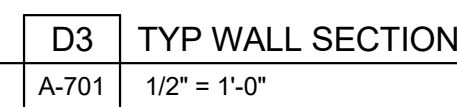
1" ACTUAL

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4223 GIBSON AVE  
SAINT LOUIS, MO 63110

ISSUE NAME: ISSUE FOR PERMIT  
ISSUE DATE: OCTOBER 31, 2017  
DRAWN BY: LAE  
SHEET NAME: INTERIOR ELEVATIONS

SHEET  
**A-601**



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