FOREST PARK SOUTHEAST
DEVELOPMENT COMMITTEE
April 23, 2019
5:30 P.M.
MEETING AGENDA

1. **Introductions** ……..……..……....5 Minutes

2. **Minutes from March 26, 2019** ...……..……2 Minutes

3. **4170 Manchester:** Request for Community support for a Conditional Use
   - Park Central Presentation……...……5 Minutes
   - Business Presentation …….…….…….…..5 Minutes
   - Public Comments……...5 Minutes
   - Committee Comments……...5 Minutes

4. **900 Sarah:** Request for Razing a building and new construction of Townhomes
   - Park Central Presentation……...……5 Minutes
   - Business Presentation …….…….…….…..5 Minutes
   - Public Comments……...5 Minutes
   - Committee Comments……...5 Minutes

5. **Closed Session** ……..10 Minutes

FPSE Development Committee Meeting Minutes
March 26, 2019 at 5:30 pm
at 4512 Manchester, St. Louis, MO 63110

Committee members in attendance: John Boldt, Guy Slay, Brian Phillips, Tom Ernst, Kasan Moorehead, Sharon Blaine, Mark Mangapora
Committee members not present: Meredith Jones, David Wolfe, Patrick Brown, Patrice Willis

Staff in attendance: Abdul Abdullah and Annette Pendilton
Others in attendance: Tonnie Smith and Keaua Anderson (Cornerstone/West End), Katie May (May's Place), Dan Harbaugh (Ronald McDonald House), AB and May Eizenberg (Babylon), Dan (FPSENA)

1. **Call to Order:**
   J. Boldt called the meeting to order at 5:31 pm.

2. **Minutes from February 26, 2019**
   B. Phillips motioned to approve minutes for February 26, 2019. M. Mangapora seconded. Motion passes 4-0-2 Abstained – J. Boldt, S. Blaine

3. **4180 Manchester:** Request for community support for Conditional Use
   A.Abdullah read the proposal to the board. Copy of the report can be requested with Park Central Development staff.

   Park Central Development recommends support of the project with the following conditions:

   1. The business owner will sign the Grove CID Good Neighbor Agreement.
   2. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

Katie May presented to the board.

4. **4322-24 Swann:** Request for Razing a building and new contraction of Townhomes
   Abdullah read the proposal to the board. Copy of the report can be requested with Park Central Development staff.

   Park Central Development recommends support of the project with the following conditions:

   1. Repair if needed the sidewalk in front of the property.

2. Immediately clear the fence line and alley surrounding the property of overgrowth and trash on the property line.
3. Conform to the design recommendations that the Director of Cultural Resources for the City of St. Louis recommends per the form base code.
4. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

May Eizenberg and AB with Babylon presented to the board.

5. **Ronald McDonald Update-** Dan Harbaugh updated that the preservation board approved demolish of the church so they can go forward with the Ronald McDonald House. He thanked Abdul Abdullah, Guy Slay and Brian Phillips for their support through this process. He also passed out renderings on what the building would look like and stated that any suggestions or changes are welcomed.

6. **Closed Session**
   A. **4180 Manchester -**
   G. Slay motioned to support and Conditional Use with the following conditions:
   1. The business owner will sign the Grove CID Good Neighbor Agreement.

   2. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

   B.Phillips seconded. The motion passes 7-0-0

   B. **4322-4324 Swann -**
   G. Slay motioned to reject for demolition of the site and believes the site can be restored. M. Mangapora seconded. The motion passes 7-0-0

7. **Meeting adjourned at 6:30 pm.**

Site Address: 4170 Manchester

Request: Letter of Support for Patio Improvements

Company Name: Parlor

Contact Person(s): Gabe McKee

Mailing Address: 2717 Sutton Blvd St. Louis MO 63143

Company Owners / Principals: Sean Baltzell

Project Information

History of site
Currently home of Parlor.

Proposed Project

Parlor is proposing removal of its current wooden fence and replacing it with an 18' long shipping container and steel fence. The container will have one side removed facing the patio which will allow for covered seating within the container. Murals similar to that on the existing patio would be implemented on the street and patio side of the shipping container.

Parking

N/A

Current Zoning Neighborhood Center, Type 1
Project Costs:

Acquisition:	N/A
Pre-development Soft Cost:	$ 1,500
Construction Cost:	$ 8,500
Total:	$ 10,000

Project Timeline:

Site Control:	Yes
Construction Start:	5/2019
Construction Complete:	5/2019
Occupancy:	Existing

Relevant Experience
Parlor has operated since 2016 and has a second business opening in Chroma in the Summer of 2019.

Will the project seek financial incentives from the City of St. Louis? No Incentives will be given.

Park Central Recommendation

Park Central Development recommends support for the owner's conditional use with the following conditions:

1. The Business will sign the Grove Good Neighbor Agreement.

2. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

Map View

The Ready Room
NOTCH
Pie Guy Pizza
Gibson Ave
Manchester Ave
100
100
4170 Manchester Avenue
Rise Coffee
Sanctuaria
Space
S Boyle Ave
Diablitos Cantina
Kentucky Ave

GAMES & CHICKEN
THRILL

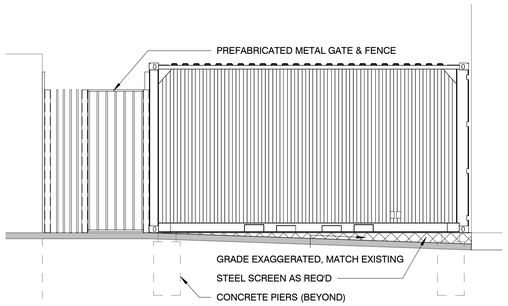
4170 Manchester

Street View

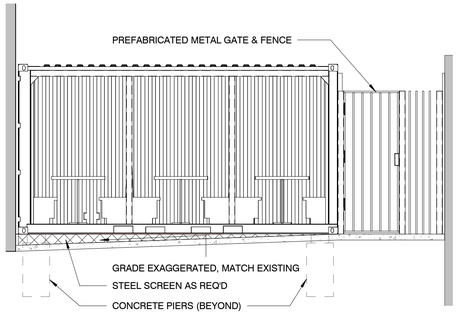
4170 Manchester

Street View

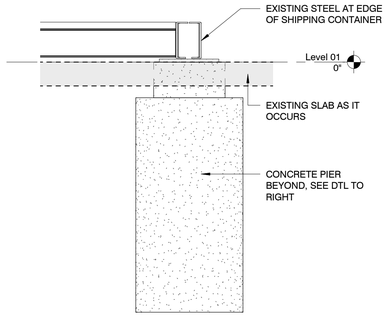
2/19/2019 9:58:06 AM



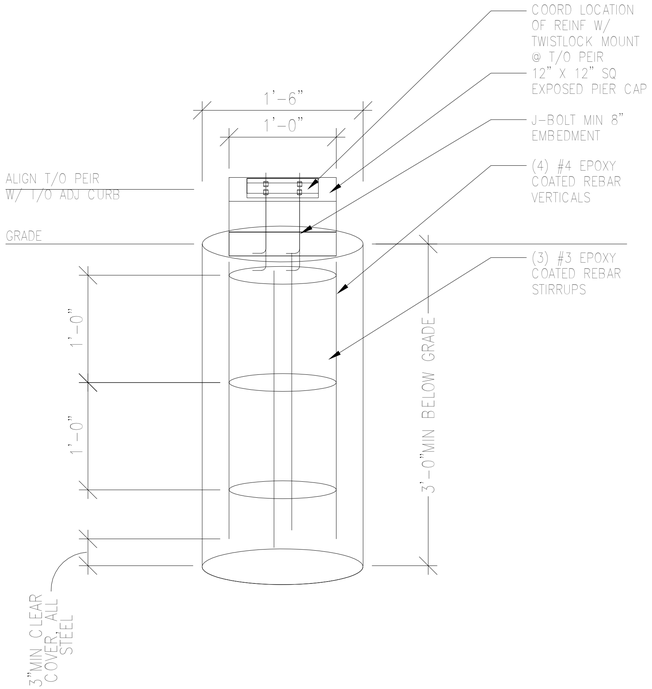
5 CONTAINER ELEVATION @ STREET
A121 1/4" = 1'-0"



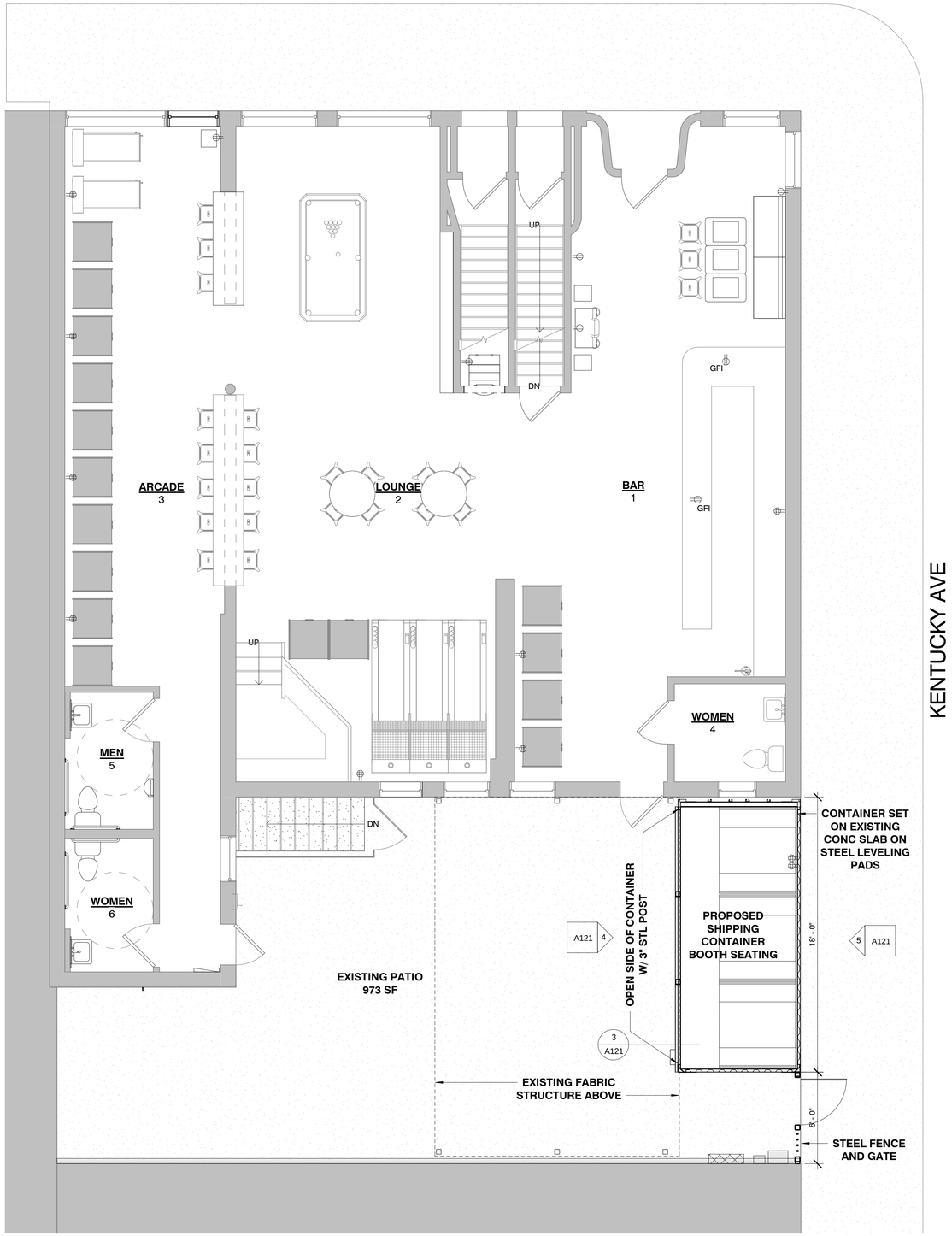
4 CONTAINER ELEVATION @ PATIO
A121 1/4" = 1'-0"



3 CONTAINER STEP
A121 1" = 1'-0"



2 TYP DETAIL @ CONCRETE PIER
A121 1 1/2" = 1'-0"



1 SITE PLAN
A121 1/4" = 1'-0"

V THREE STUDIOS LLC
2717 Sutton Boulevard
St. Louis, Missouri 63143
888. 895. 2842

General Contractor:

Civil Engineer:

Structural Engineer:

MEPF Engineer:

The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

This drawing and details on it are the sole property of the architect and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or part, or for any other purpose or project without the written consent of the architect.

STATE OF MISSOURI
KURT RUSSELL KERNS
NUMBER A-2009002618
12-31-17
ARCHITECT

SIGNAGE PERMIT

PARLOR PATIO STRUCTURE

4170 MANCHESTER AVENUE
ST. LOUIS, MO 63110

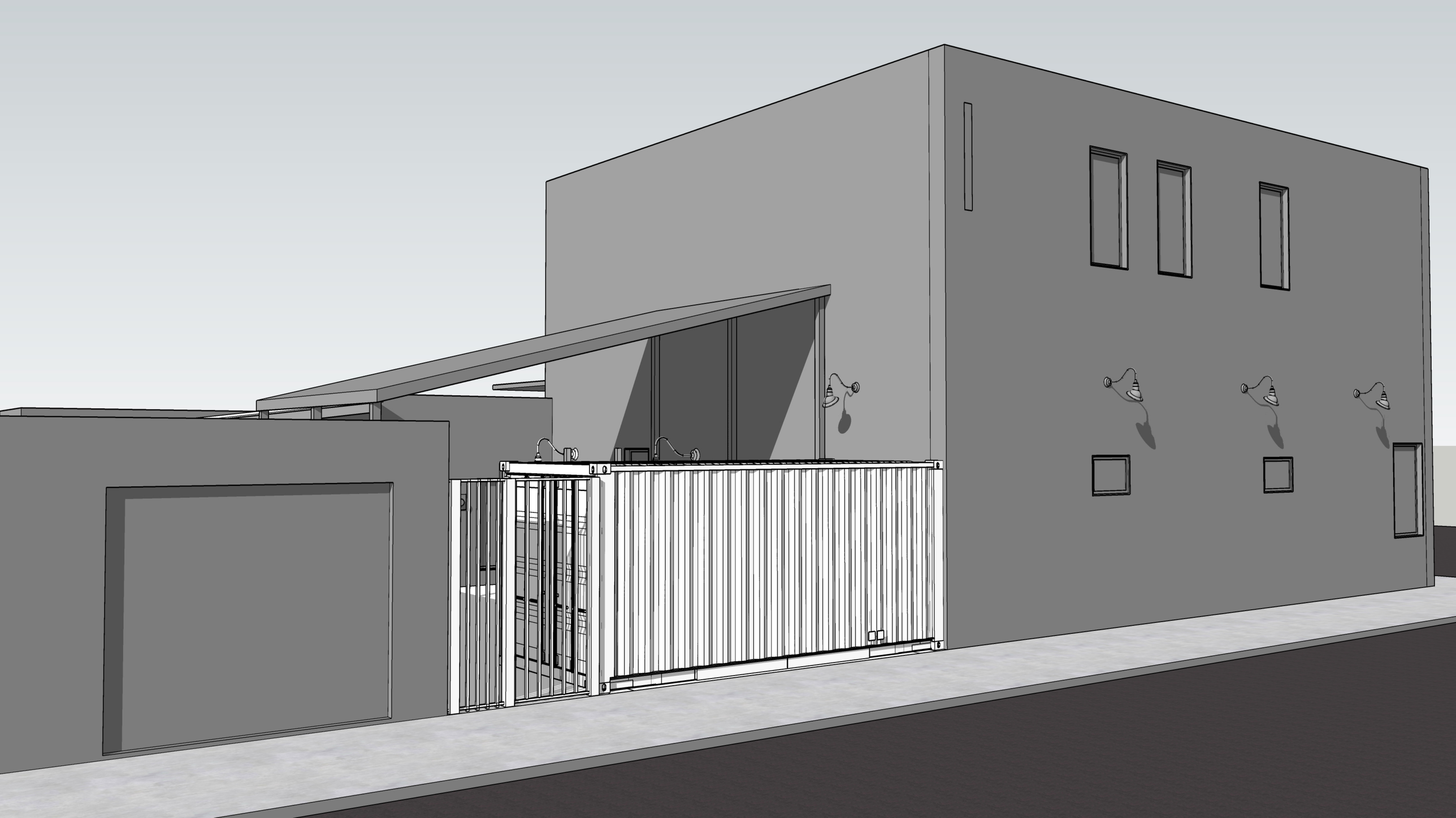
No.	Description	Date

Sheet Title:

SITE PLAN

Project Number: 16042.03
Drawn By: Author
Issue Date: 01-15-2019
Sheet Number: A121

D:\Dropbox (V Three Studios)\V Three Studios Team Folder_Arch\2016\16042_Bartzell Grove Parlor\01_model\bim\16042_2019_0115_NO CANOPY.rvt



900 South Sarah Street.

Site Address: 900 South Sarah Street

Request: Community Support for the project and Variances needed as well as Community Feedback

Company Name: 4101 Investors LLC.

Contact Person(s): Mark Rubin

Mailing Address: 900 Spruce Street, Suite 450, St. Louis, MO 63102

Company Owners / Principals: Bill Koman, Phil Hulse, Jason Braidwood, Mark Rubin

Project Information

History of site
This proposed site was previously platted, Lot 2B of the Commerce Corner Subdivision and served as a parking lot for surrounding businesses for the last several decades. As the first Chroma phase was developed, the parking lot was demolished and remains a vacant undeveloped lot today.

Proposed Project

Chroma 2 is a compliment to the successful Chroma (first phase) project on the adjacent site. Chroma 2 is planned for 54 apartments (17 studio and 37 one bedroom) and approximately 2200 square feet of commercial area to be constructed on a vacant lot on the southeast corner of Sarah Street and Papin Street. The L-shaped building will wrap an indoor-outdoor amenities area. The addition of commercial space will add services to The Grove neighborhood district for all residents of, and visitors to, the area. Residents of an additional 54 apartments will likewise support businesses in The Grove neighborhood.

Parking

The project will have two (2) garages, one for each unit. Chroma 2 will utilize existing parking facilities of the first phase. This includes a multi-level parking garage (383 spaces) directly adjacent to Chroma 2 and a surface level parking lot (72 spaces) across Sarah Street. The combined capacity of these two facilities is 455 spaces. All parking garage spaces are hidden from view.

Current Zoning Neighborhood Center, Type 1
Project Costs:

900 South Sarah Street.

Acquisition:	$1,500,000
Pre-development Soft Cost:	$ 2,675,000
Construction Cost:	$ 6,775,000
Total:	$ 10,950,000

Project Timeline:

Site Control:	Owned by Developer
Construction Start:	May 2019
Construction Complete:	June 2020
Occupancy:	June 2020

Relevant Experience

The Koman Group has delivered more than $1 billion in real estate initiatives, encompassing more than 6 million square feet of commercial and residential space. Additionally, this project is completed in conjunction with the expertise of VE Design Group, a design management firm focusing on mixed use and multi-family developments. VE has completed many similar, successful projects in the St. Louis metropolitan area and throughout the Midwest.

Will the project seek financial incentives from the City of St. Louis? Both Phase 1 and Phase 2 have already secured tax abatement. The project required a great deal of infrastructure to put in place as well as there are poor soil conditions that required significant ground improvements.

Park Central Recommendation

Park Central Development recommends support for the owner's conditional use with the following conditions:

1. The developer install and coordinate its exterior security cameras and placement of them with the NSI and coordinate the cameras with the FPSE Camera Network.

2. Repair any streets or infrastructure impacted by the project and provide ADA accessible ramps/curbs for all sidewalks within the project property line.

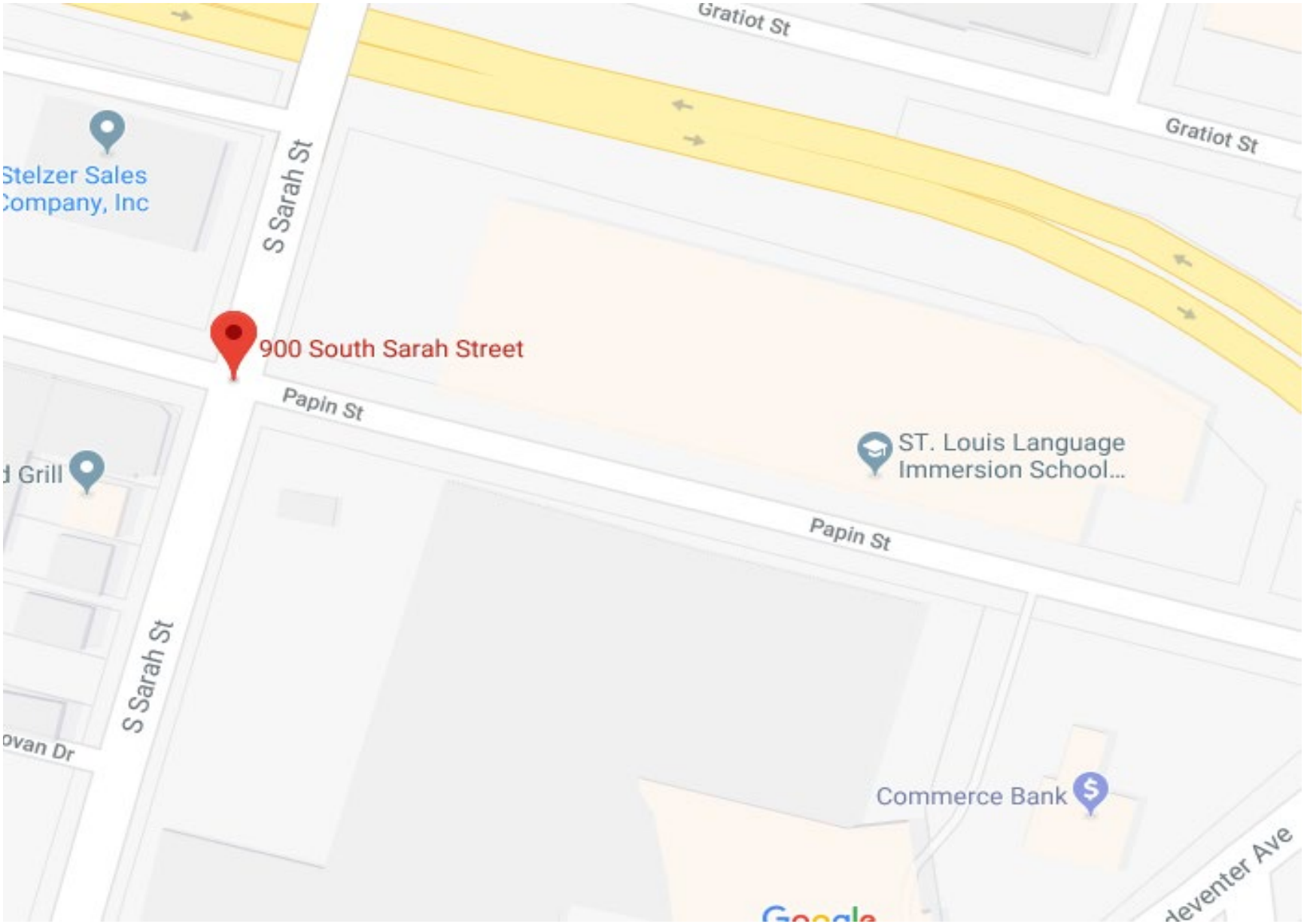
900 South Sarah Street.

3. Communicate with Language Immersion School to coordinate any safety precautions that may impact student arrival and departure.

4. Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.

900 South Sarah Street.

Map View



900 South Sarah Street.

CHROMA II

MIXED-USE DEVELOPMENT - ST. LOUIS, MO

DESIGN DEVELOPMENT SET

OWNER
KOMAN GROUP
900 SPRUCE STREET, SUITE 450
ST. LOUIS, MO 63102

ARCHITECT
VE DESIGN GROUP, LLC.
520 E JACKSON STREET, SUITE 2
WILLARD, MO 65781
PHONE: 417.612.2913

STRUCTURAL ENGINEER
VE DESIGN GROUP, LLC.
520 E JACKSON STREET, SUITE 2
WILLARD, MO 65781
PHONE: 417.612.2913

GENERAL CONTRACTOR
KOMAN GROUP
900 SPRUCE STREET, SUITE 450
ST. LOUIS, MO 63102

CIVIL ENGINEER
POEHLMAN & PROST, INC
46 C WORTHINGTON ACCESS DRIVE
MARYLAND HEIGHTS, MO 63043
PHONE: 314.997.5777

CODE COMPLIANCE	
BUILDING CODES:	2018 IBC WITH CITY OF ST. LOUIS, MO AMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE
USE GROUPS:	R-2 & A-3
BUILDING HEIGHTS & AREAS:	REFER TO G1 SHEETS
TYPE OF CONSTRUCTION:	TYPE V-A
FIRE RATED ASSEMBLIES:	REFER TO G2 SHEETS
SPRINKLER SYSTEM:	FULLY SPRINKLED (NFPA 13)
MEANS OF EGRESS:	REFER TO G3 SHEETS
ACCESSIBILITY:	A117.1-2009 REFER TO SHEETS G4.1 - G4.2

PROJECT SUMMARY - CHROMA II (4-STORIES)

DESCRIPTION	RESIDENTIAL UNIT COUNT						HEATED UNIT SF	TOTAL UNIT SF	TOTAL BLDG SF
	1st	2nd	3rd	4th	Total				
S1 (Studio)	3	3	3	3	12	22.2%	498	5,976	
S1-1 (Studio)	1	1	1	1	4	7.4%	503	2,012	
S2 (Studio)	-	1	1	1	3	5.6%	538	1,614	
A1	-	1	1	1	3	5.6%	619	1,857	
A2	1	1	1	1	4	7.4%	636	2,544	
A2-1	2	2	2	2	8	14.8%	636	5,088	
A2-2	1	1	1	1	4	7.4%	642	2,568	
A2-3	-	1	1	1	3	5.6%	636	1,908	
A3	-	1	1	1	3	5.6%	671	2,013	
A4	-	1	1	1	3	5.6%	695	2,085	
A5	-	1	1	1	3	5.6%	713	2,139	
A6	1	1	1	1	4	7.4%	726	2,904	
	-	-	-	-	-		-	-	
DECKS & PATIOS								1.4%	597
COMMERCIAL AREA								5.1%	2,215
AMENITY AREA								2.1%	927
COMMON AREA								16.0%	6,941
TOTAL APARTMENTS	5	15	15	15	54			32,708	
TOTAL (LEVELS 1-4)									43,388

			UNIT MIX			AVG SF
			19	STUDIO	35.2%	505
			35	1 BEDROOM	64.8%	660
			54	TOTAL	100.0%	606

DESIGN DEVELOPMENT

SHEET INDEX

COVER - BUILDING RENDERING
G0.1 - GENERAL NOTES & SPECS
G0.2 - SITE PLAN
G5.1 - DOOR & WINDOW SCHEDULE
G6.1 - TYPICAL FRAMING DETAILS
G6.2 - TYPICAL FRAMING DETAILS

U1.1 - ENLARGED UNIT PLAN: S1
U1.2 - ENLARGED UNIT PLAN: S2
U1.3 - ENLARGED UNIT PLAN: A1
U1.4 - ENLARGED UNIT PLAN: A2
U1.5 - ENLARGED UNIT PLAN: A3
U1.6 - ENLARGED UNIT PLAN: A4
U1.7 - ENLARGED UNIT PLAN: A5

A1.1 - BLDG FLOOR PLAN (LEVEL 1)
A1.2 - BLDG FLOOR PLAN (LEVEL 2)
A1.3 - BLDG FLOOR PLAN (LEVEL 3)
A1.4 - BLDG FLOOR PLAN (LEVEL 4)
A1.5 - ROOF PLAN

A2.1 - COLOR ELEVATIONS
A2.2 - COLOR ELEVATIONS
A2.3 - COLOR ELEVATIONS
A2.4 - MATERIAL REF.

A3.1 - FRAMING ELEVATIONS
A3.2 - FRAMING ELEVATIONS
A3.3 - FRAMING ELEVATIONS

AS1.1 - BUILDING SECTION
AS4.1 - FRAMING DETAILS

04/11/19 CULTURAL RESOURCES SUBMITTAL (NOT FOR CONSTRUCTION)

VE DESIGN GROUP
520 E JACKSON ST, SUITE 2
WILLARD, MO 65781
PHONE: 417.612.2913 DESIGN@VEDESIGNGROUP.COM
VE DESIGN GROUP OF MO, LLC
MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
COVER

PROJECT # 850
DATE 04/11/19
DRAWING NUMBER
TITLE
DESIGN DEVELOPMENT

GENERAL:

1. ALL DESIGN AND CONSTRUCTION FOR THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE WITH CITY OF ST LOUIS AMENDMENTS.

2. BUILDING ENVELOPE SPECIFICATIONS FOR THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF 2018 INTERNATIONAL ENERGY CONSERVATION CODE. REFER TO THE BUILDING SECTIONS AND THE COMCHECK REPORT (AVAILABLE UPON REQUEST) FOR SPECIFIC ENERGY REQUIREMENTS.

3. THE CONTRACTOR SHALL COORDINATE ALL DISCIPLINES, VERIFYING SIZE AND LOCATION OF ALL OPENINGS. ALL CONFLICTS, INCONSISTENCIES, OR OTHER DIFFICULTIES AFFECTING STRUCTURAL WORK SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR DIRECTION BEFORE PROCEEDING.

4. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS, DETAILS, SPECIFICATIONS AND SHOP DRAWINGS BETWEEN ALL TRADES. REQUIRED SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND CONTRACTOR FOR APPROVAL PRIOR TO COMPLETION OF WORK.

5. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED SPECIAL INSPECTIONS - SEE SPECIAL INSPECTIONS REPORT FOR EXTENT AND DURATION OF INSPECTION FOR EACH TRADE.

6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING, SHORING, GUYING AND OTHER MEANS NECESSARY TO STABILIZE IN-PLACE CONSTRUCTION AND PREVENT UNDUE STRESSES.

7. THESE DRAWINGS ARE FOR THIS SPECIFIC PROJECT, AND NO OTHER USE IS AUTHORIZED.

SAFETY RESPONSIBILITIES:

1. EACH SUBCONTRACTOR PERFORMING WORK IS RESPONSIBLE FOR CARRYING OUT ITS SCOPE OF WORK IN A MANNER THAT COMPLIES WITH ALL APPLICABLE SAFETY REQUIREMENTS SET FORTH BY THE CONTRACTOR, LOCAL ORDINANCES, AND PUBLIC AGENCIES.

DESIGN LOAD CRITERIA:

OCCUPANCY CATEGORY: II

DEAD LOADS:
ROOF DEAD: 20 PSF FLOOR DEAD: 30 PSF

LIVE LOADS:
ROOF LIVE: 20 PSF FLOOR LIVE: 40 PSF PRIVATE ROOMS & DECKS
40 PSF CORRIDORS TO PRIVATE ROOMS
100 PSF PUBLIC SPACES
100 PSF CORRIDORS TO PUBLIC SPACES

SNOW LOAD:

GROUND SNOW LOAD, Pg	20 PSF	FLAT ROOF SNOW LOAD, Pf	20 PSF + DRIFTING
SNOW EXPOSURE FACTOR, Ce	1.0	SNOW IMPORTANCE FACTOR, Is	1.0
THERMAL FACTOR, Ct	1.0		

IN ADDITION TO UNIFORM LOADING SHOWN, ROOF SHALL BE DESIGNED TO ACCOMMODATE UNBALANCED SNOW LOAD, PARTIAL LOADING, DRIFTING DUE TO PROJECTIONS AND PARAPETS, SLIDING SNOW, RAIN-ON-SNOW SURCHARGE, AND PONDING INSTABILITY PER ASCE 7-16 CHAPTER 7.

SEISMIC LOADS:

IMPORTANCE FACTOR, Ie	1.0	SITE CLASS	C
Ss	0.44g	SDS	0.38g
S1	0.16g	SD1	0.16g
SEISMIC DESIGN CATEGORY	C		
DESIGN SEISMIC FORCE RESISTING SYSTEM		LIGHT FRAMED WALLS SHEATHED WITH OSB	
DESIGN BASE SHEAR, V		TBD	
SEISMIC RESPONSE COEFFICIENT, Cs		TBD	
RESPONSE MODIFICATION FACTOR, R		6.5	
ANALYSIS PROCEDURE USED		EQUIVALENT LATERAL FORCE PROCEDURE	

WIND LOADS:

BASIC WIND SPEED, V	107 MPH	WIND IMPORTANCE FACTOR, Iw	1.0
WIND EXPOSURE CATEGORY	B	INTERNAL PRESSURE COEFFICIENT	±0.18

COMPONENTS AND CLADDING NOMINAL LOAD (UNFACTORED):
EFFECTIVE WIND AREA OF 10 SQUARE FEET

ZONE 1	-38.7 PSF	16.0 PSF
ZONE 2	-51.1 PSF	16.0 PSF
ZONE 3	-69.6 PSF	16.0 PSF
ZONE 4	-26.3 PSF	23.8 PSF
ZONE 5	-32.6 PSF	23.8 PSF

DIVISION 01 - GENERAL REQUIREMENTS:

1. GENERAL REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, SCOPE OF WORK, WORK RESTRICTIONS, PRICING, ALLOWANCES, ALTERNATES, CONSTRUCTION SCHEDULE, PROGRESS DOCUMENTATION, WORKMANSHIP, TEMPORARY SITE FACILITIES, LIFTING EQUIPMENT, ETC. SHALL BE COORDINATED WITH THE CONTRACTOR.

DIVISION 02 - EXISTING CONDITIONS:

1. EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, SITE CONDITIONS, SURVEYING, SUBSURFACE INVESTIGATIONS, DEMOLITION, REMOVAL OF CONTAMINATED MATERIALS, ETC. SHALL BE COORDINATED WITH THE CONTRACTOR.

DIVISION 02 - EARTHWORK:

1. A GEOTECHNICAL REPORT WAS PREPARED BY SCI ENGINEERING, INC, DATED AUGUST 25, 2016 WITH AN ADDENDUM DATED OCTOBER 13, 2016. CONTRACTOR SHALL READ AND BECOME FAMILIAR WITH THE REPORT PRIOR TO BIDDING THE WORK.

2. BUILDING FOOTINGS ARE DESIGNED TO BEAR ON AN AGGREGATE PIER SYSTEM CAPABLE OF ADEQUATELY SUSTAINING A MINIMUM BEARING PRESSURE OF 5,000 PSF FOR CONTINUOUS AND INDIVIDUAL FOOTINGS (UNO). IF SUITABLE BEARING CAPACITY IS NOT ACHIEVED AT THE ELEVATION INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY.

3. ALL TOPSOIL, ORGANIC MATERIAL, AND EXISTING STRUCTURES SHALL BE REMOVED FROM BUILDING AREA AND AREAS TO BE PAVED. STOCKPILE ALL TOPSOIL FOR REUSE.

4. PROOFROLL SITE TO IDENTIFY SOFT OR DISTURBED AREAS. ANY AREAS FOUND TO BE UNSUITABLE FOR SUPPORT OF FOOTINGS AND /OR SLAB-ON-GRADE SHALL BE UNDERCUT AND REPLACED WITH CONTROLLED FILL. UNDERCUT EXCAVATION TO SUITABLE BEARING MATERIAL TO SUITABLE BEARING MATERIAL, WIDENING EXCAVATION IN ALL DIRECTIONS A MINIMUM OF 9" FOR EACH ADDITIONAL FOOT OF OVEREXCAVATION.

5. BACKFILL DIRECTLY UNDER SLABS-ON-GRADE WITH A MINIMUM OF 4 INCHES OF GRANULAR FILL CONSISTING OF WASHED, EVENLY GRADED MIXTURE OF CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL, WITH 100% PASSING A 1½" SIEVE AND NOT MORE THAN 5% PASSING A NUMBER 4 SIEVE.

6. ALL CONTROLLED FILL AND BACKFILL SHALL BE PLACED IN LIFTS OF MAXIMUM LOOSE LIFT THICKNESS OF 9 INCHES, COMPACT CONTROLLED FILL TO A MINIMUM OF 95% OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 AT A MOISTURE CONTENT WITHIN A RANGE OF 0 TO 4% ABOVE THE OPTIMUM MOISTURE CONTENT.

7. PRIOR TO THE PLACEMENT OF SLABS-ON-GRADE, THE GEOTECHNICAL ENGINEER SHALL VERIFY COMPACTION AND MOISTURE CONTENT OF BUILDING'S SUBGRADE. SUBGRADE NOT MEETING 95% COMPACTION AND/OR MOISTURE CONTENT OF 0 TO 4% ABOVE OPTIMUM MOISTURES SHALL BE REWORKED.

8. WALLS RETAINING SOIL SHALL BE TEMPORARILY BRACED DURING BACKFILLING AND UNTIL ALL SUPPORTING SOIL AND SLABS ARE IN PLACE AND ARE AT DESIGN STRENGTH (UNO).

9. THE GEOTECHNICAL ENGINEER SHALL OBSERVE, TEST, AND APPROVE ALL EXCAVATION, FILL, AND BACKFILL WORK TO DETERMINE THAT SUBGRADE CONDITIONS ARE COMPATIBLE WITH THOSE USED IN DESIGN.

DIVISION 3 - CONCRETE:

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE BUILDINGS."

2. CONCRETE MATERIALS SHALL COMPLY WITH:
   - CEMENT . . . . ASTM C 150 TYPE 1
   - AGGREGATE . . . . ASTM C 33, MAXIMUM AGGREGATE SIZE ¾"
   - WATER . . . . POTABLE
   - AIR-ENTRAINING ADMIXTURE . . . . . ASTM C 260
   - WATER-REDUCING ADMIXTURE . . . .ASTM C 494, INCLUDING SUPERPLASTICIZERS
   - FLY ASH . . . . ASTM C 618, CLASS C

DIVISION 03 - CONCRETE (CONT'D):

3. CONCRETE SHALL DEVELOP THE FOLLOWING MINIMUM 28 DAY DESIGN COMPRESSIVE STRENGTH (f'c):
   - INTERIOR SLABS . . . . 4500 PSI
   - FOOTINGS . . . . 4500 PSI
   - WALLS . . . . 4500 PSI

4. USE AIR-ENTRAINING ADMIXTURE IN EXTERIOR CONCRETE TO RESULT IN 6% ENTRAINED AIR (±1.5%).

5. CONCRETE PROPORTIONS SHALL BE ESTABLISHED ON THE BASIS OF FIELD EXPERIENCE AND/OR TRIAL MIXTURES IN ACCORDANCE WITH ACI 318-14. WHEN FLY ASH IS UTILIZED, THE MIX SHALL CONTAIN A WATER-REDUCER. FLY ASH CAN BE ADDED TO REDUCE CEMENT BY NOT MORE THAN 25% BY WEIGHT. MIX DESIGNS SHALL BE PROVIDED TO THE ARCHITECT FOR APPROVAL PRIOR TO CONCRETE PLACEMENT.

6. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED. SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

7. MINIMUM CONCRETE CLEAR COVER FOR REINFORCEMENT:
   - CAST AGAINST AND EXPOSED TO EARTH . . . . . .3"
   - EXPOSED TO EARTH OR WEATHER . . . . 1½"
   - NOT EXPOSED TO EARTH OR WEATHER . . . . ¾"

8. ALL EXPOSED CONCRETE IS REINFORCED, REINFORCE CONCRETE NOT OTHERWISE INDICATED WITH SAME REINFORCEMENT AS SIMILAR SECTION.

9. IN CORNERS OF GRADE BEAMS AND WALLS PROVIDE CORNER REINFORCEMENT, LAP TWO FEET EACH DIRECTION IN OUTSIDE FACE, MATCHING SIZE AND SPACING OF HORIZONTAL REINFORCEMENT.

10. PROVIDE CONTROL JOINT IN SLAB-ON-GRADE AT NOT GREATER THAN 20 FEET ON CENTER IN EACH DIRECTION. SAW CUT CONTROL JOINTS ¼ OF SLAB DEPTH MINIMUM, AS SOON AFTER SLAB FINISHING AS POSSIBLE WITHOUT DISLODGING AGGREGATE.

DIVISION 04 - BRICK VENEER MASONRY:

1. CONSTRUCTION OF BRICK VENEER, INCLUDING BUT NOT LIMITED TO: GROUT, MORTAR, REINFORCEMENT, AND CONNECTORS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO ACI 530-05/ASCE 5-05/TMS 402-05: BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, CHAPTER 6.

2. BRICK SHALL BE ASTM C652 HOLLOW BRICK.

3. MORTAR SHOULD BE TYPE N, PORTLAND CEMENT, HYDRATED LIME AND SAND.

4. JOINTS SHOULD BE TOOLED TO A CONCAVE OR "V" FINISHED. SIMPLE RAKED JOINTS MUST BE TOOLED AFTER RAKING.

5. CONNECT ANCHORED VENEER TO BACKING WITH HOHMANN & BARNARD DW10 (OR APPROVED ALTERNATE) AT 2'-0" OC VERTICALLY INSTALLED PER MANUFACTURER'S REQUIREMENTS.

6. FLASHING AND WEEP HOLES IN ANCHORED VENEER SHALL BE LOCATED IN THE FIRST COURSE OF MASONRY ABOVE FINISH GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB, AND OTHER POINTS OF SUPPORT, SUCH AS SHELF ANGLES AND LINTELS. WEEP HOLES SHALL BE AT LEAST 3/16" DIAMETER AND SPACED NO MORE THAN 32" OC.

7. MASONRY DRAINAGE MAT SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION REQUIREMENTS.

8. PROVIDE SOLID GROUT BETWEEN BRICK AND FOUNDATION AT ALL AREAS BELOW GRADE.

9. GROUT SHALL BE SELF-CONSOLIDATING WITH FINE AGGREGATES AND A SLUMP OF 8-11 INCHES.

DIVISION 05 - METALS - STRUCTURAL STEEL FRAMING:

1. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED TO CONFORM TO THE REQUIREMENTS OF "AISC STEEL CONSTRUCTION MANUAL 14TH EDITION." SHOP DRAWINGS SHALL BE SUBMITTED TO PROJECT ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

2. STEEL MATERIALS SHALL COMPLY WITH THE FOLLOWING (UNO):
   - WIDE FLANGE SHAPES. . . . . ASTM 992, GRADE 50
   - ANGLES, CHANNELS, & PLATES. . . . ASTM A36 OR ASTM A572, GRADE 50
   - ROUND & RECTANGULAR HSS . . . . .ASTM A500, GRADE B (Fy=46 KSI)
   - STRUCTURAL PIPES . . . . ASTM A53, GRADE B (Fy=36 KSI)
   - HIGH STRENGTH BOLTS. . . . . ASTM A325, OR ASTM A490
   - ANCHOR BOLTS . . . . .ASTM F1554, GRADE 36 (WELDABLE)
   - HIGH STRENGTH ANCHOR BOLTS . .ASTM F1554, GRADE 105
   - HEADED ANCHOR STUDS (HAS) . . . ASTM A108 AND AWS D1.1
   - WELDING ELECTRODES . . . . AWS D1.1 E70 SERIES
   - GALVANIZED FINISH . . . . ASTM A123

3. STEEL SHALL BE PRIMED WITH FABRICATOR'S STANDARD, RUST-INHIBITING PRIMER, EXCEPT IN THE FOLLOWING:
   - STEEL SCHEDULED TO BE SPRAYED WITH FIRE RESISTIVE MATERIAL
   - STEEL ENCLOSED IN CONCRETE
   - SURFACES TO BE WELDED
   - CONTACT SURFACES IN SLIP CRITICAL CONNECTIONS
   - TOP OF BEAMS IN COMPOSITE CONSTRUCTION

4. ALL STEEL PERMANENTLY EXPOSED TO WEATHER SHALL BE GALVANIZED OR PAINTED WITH A HIGH PERFORMANCE PAINT SYSTEM PER SPECIFICATIONS.

5. ALL STEEL LINTELS AT BRICK VENEER SHALL BEAR A MINIMUM OF 4" ON EACH END AND BE SUPPLIED AS SHOWN ON FRAMING ELEVATIONS (SEE A3.1, A3.2, AND A3.3).

6. STEEL SUPPLIER SHALL PROVIDE ALL MISCELLANEOUS STRUCTURAL STEEL NECESSARY TO FULFILL THE INTENT OF THE STRUCTURAL DRAWINGS (SHOWN OR NOT SHOWN). ITEMS MAY INCLUDE BUT ARE NOT LIMITED TO, EDGE ANGLES, CLOSURE PLATES, AND DECK SUPPORT FRAMING.

DIVISION 05 - METALS - DECORATIVE METAL RAILINGS:

1. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS TO CONTRACTOR AND ARCHITECT OF RECORD FOR APPROVAL OF DIMENSIONS, COLOR, FASTENING METHODS, ETC. PRIOR TO FABRICATION.

DIVISION 06 - WOODS AND PLASTICS - ROUGH CARPENTRY:

PREMANUFACTURED WOOD COMPONENTS:

1. CONSTRUCTION OF PREMANUFACTURED WOOD COMPONENTS INCLUDING BUT NOT LIMITED TO: CONTINUOUS BEARING MEMBERS, SHEAR PANELS, AND HEADER TRUSSES SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

2. MATERIAL USED FOR COMPONENTS SHALL BE IN ACCORDANCE WITH LUMBER QUALITY STANDARDS ESTABLISHED IN "WOOD TRUSSES" SECTION OF THIS SHEET.

3. ALL PREMANUFACTURED WOOD COMPONENTS SHALL BE DESIGNED AND FABRICATED BY TRUSS MANUFACTURER. THE DESIGN SHALL BEAR A LICENSE IN THE STATE THE PROJECT IS LOCATED.

4. SHEAR PANELS SHALL BE LOCATED WITH IN THE SHEARWALL LENGTH AND DESIGNED FOR FORCE SHOWN ON NAILING SCHEDULE.

5. CONTINUOUS BEARING MEMBERS SHALL BE DESIGNED TO RESIST ALL ROOF AND FLOOR GRAVITY LOADS. PARTS OF THE CONTINUOUS BEARING LOCATED WITHIN SHEARWALLS SHALL BE DESIGNED TO RESIST THE SCHEDULED FLOOR SHEAR.

PREMANUFACTURED WOOD TRUSSES:

1. TRUSSES DESIGNED FOR IN SERVICE CONDITIONS ONLY. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROPERLY BRACE TRUSSES DURING LIFTING AND ERECTION.

2. TRUSS MANUFACTURER SHALL DESIGN ALL TRUSSES AND REQUIRED HARDWARE FOR TRUSS TO TRUSS AND TRUSS TO BEARING CONNECTIONS FOR ALL GRAVITY, SHEAR, AND WIND LOADS.

3. TRUSS LENGTHS AND PROFILES SHALL BE COORDINATED WITH CONSTRUCTION DOCUMENTS PRIOR TO FABRICATION. CONFIGURATION AND SIZE OF WEB AND CHORD MEMBERS SHALL BE DETERMINED BY TRUSS MANUFACTURER.

4. CONTRACTOR IS RESPONSIBLE TO CHECK SPACING OF TRUSSES TO MISS PLUMBING. TRUSSES MAY BE SHIFTED BY THE WIDTH OF TRUSS MEMBER IF NECESSARY. DRILLING OR CUTTING OF ANY TRUSS MEMBER IS NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

5. CONTRACTOR SHALL KEEP TRUSSES LATERALLY BRACED DURING ERECTION, UNTIL ALL DIAPHRAGMS ARE INSTALLED.

DIVISION 06 - WOODS AND PLASTICS - ROUGH CARPENTRY (CONT'D):

6. DESIGN, DETAILING, AND FABRICATION CRITERIA OF ALL PREMANUFACTURED WOOD TRUSSES, CONNECTIONS, AND ACCESSORIES SHALL BE IN ACCORDANCE WITH "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST REVISION), "TIMBER CONSTRUCTION STANDARDS" BY AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (LATEST REVISION), AND "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" BY TRUSS PLATE INSTITUTE. COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION.

7. THE FOLLOWING DESIGN DATA SHALL BE INCLUDED ON THE SHOP DRAWINGS:
   - METAL CONNECTOR SIZES
   - LUMBER GRADES
   - DESIGN LOADINGS AND ALLOWABLE UNIT STRESS INCREASES
   - DEFLECTIONS

8. MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% NOR BE LESS THAN 7% AT TIME OF FABRICATION.

9. ALL TRUSS CONNECTOR PLATES SHALL BE MANUFACTURED FROM STRUCTURAL QUALITY GALVANIZED SHEET METAL NOT LESS THAN 20 GAUGE THICKNESS, WITH A MINIMUM YIELD STRENGTH O F 33,000 PSI AND A MINIMUM ULTIMATE TENSILE STRENGTH OF 45,000 PSI. THE CORROSION RESISTANT COATING SHALL MEET OR EXCEED ASTM A4446, STANDARD SPECIFICATION FOR SHEET METAL.

10. OPEN JOINTS WHICH DEPEND ON THE STIFFNESS OF THE METAL CONNECTOR PLATE TO TRANSFER STRESSES AND IMPROPER FITTING JOINTS WILL NOT BE PERMITTED.

11. DEAD KNOTS AND WANES ON LUMBER SHALL NOT BE USED UNDER THE CONNECTOR PLATES.

12. TRUSSES SHALL BE DESIGNED AND FABRICATED BY TRUSS MANUFACTURER. THE DESIGN SHALL BE PREPARED BY A REGISTERED ENGINEER BEARING A LICENSE IN THE STATE THE PROJECT IS LOCATED.

13. TRUSSES SHALL BE DESIGNED FOR THE LOADING CRITERIA NOTED ON PLANS.

14. MAXIMUM DEFLECTION SHALL BE LIMITED TO THE FOLLOWING:

FLOOR LIVE	L/480	ROOF LIVE	L/240
FLOOR TOTAL	L/360	ROOF TOTAL	L/180

15. FLOOR TRUSSES SHALL HAVE 2x6 STRONGBACK BRACING INSTALLED AT SPANS 10-0" AND GREATER. FOR ATTACHMENT OF STRONGBACK TO KNEEWALL OR END WALL, FIELD APPLY BLOCK TO FACE OF WALL & ATTACH STRONGBACK TO BLOCK WITH (3)-10d NAILS.

16. ROOF TRUSSES SHALL HAVE 2x8 STRONGBACK BRACING INSTALLED AS REQUIRED TO REDUCE DIFFERENTIAL DEFLECTION. TRUSS MANUFACTURER'S ROOF TRUSS LAYOUT SHALL INDICATE REQUIRED STRONGBACK LOCATIONS. ENGINEER OF RECORD SHALL REVIEW AND APPROVE INDICATED LOCATIONS PRIOR TO TRUSS FABRICATION.

17. BOTTOM CHORD BRACING MATERIAL & LOCATION SHALL BE INDICATED ON TRUSS MANUFACTURER'S LAYOUT DRAWINGS. 5/8" GYPSUM BOARD WITH RESILIENT CHANNEL MAY NOT BE USED FOR BOTTOM CHORD BRACING.

CONVENTIONAL 2x FRAMING:

1. LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS (NDS) LATEST EDITION AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

2. ANY PROPOSED SUBSTITUTIONS FOR WOOD FRAMING CONNECTORS (SIMPSON HARDWARE) MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

3. STUDS & TRIMMERS FOR EXTERIOR WALLS, INTERIOR BEARING WALLS, AND SHEAR WALLS SHALL BE STUD GRADE SPRUCE PINE FIR OR BETTER (UNO).

4. LUMBER FOR HEADERS & BEAMS SHALL BE #2 SYP (UNO).

5. TOP AND BOTTOM PLATES SHALL BE #2 SPF (UNO).

6. FIRST FLOOR SOLE PLATES SHALL BE PRESSURE TREATED LUMBER, 0.25ACQ MINIMUM.

7. ALL NON-STRUCTURAL WALL MATERIAL SHALL BE CONSTRUCTION GRADE/UTILITY SPF, OR BETTER.

8. MATERIALS MUST BE GRADE MARKED.

9. FOR OVERLAY FRAMING AT ROOFS OR OTHER CONVENTIONAL ROOF FRAMING, CONTRACTOR SHALL PROVIDE 2x FRAMING IN ACCORDANCE WITH ROOF RAFTER TABLES IN THE APPLICABLE BUILDING CODE.

10. BOLT HOLES THROUGH WOOD SHALL BE DRILLED 1/16" MAXIMUM LARGER THAN THE DIAMETER OF THE BOLTS TO BE INSTALLED.

11. BOLTS THROUGH WOOD SHALL BE FITTED WITH STANDARD WASHERS AT HEAD AND NOT ENDS.

12. A HOLE GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH MAY NOT BE BORED IN ANY WOOD STUD. BORED HOLES OF DIAMETER EQUAL TO 60% OF THE STUD WIDTH ARE PERMITTED IN NON-LOAD BEARING PORTIONS OR WHERE EACH BORED STUD IS DOUBLED, PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLE STUDS OCCUR.

13. EDGE OF A BORED HOLE SHALL NOT BE WITHIN 5/8" OF THE STUD EDGE. BORED HOLES SHALL NOT BE LOCATED AT A CUT OR NOTCH IN THE STUD.

14. EXPOSED WOOD (WHEN SHOWN ON PLANS) SHALL BE TREATED AS FOLLOWS:
   - WOOD NOT IN CONTACT WITH GROUND 0.25 ACQ
   - WOOD IN CONTACT WITH GROUND . . . . . 0.40 ACQ

NAILING:

1. NAILING INSTALLATION AND MATERIALS ARE TO BE USED IN COMPLIANCE WITH AITC, NDS, AND APPLICABLE BUILDING CODE REQUIREMENTS. MINIMUM NAIL SIZE FOR FRAMING IS 0.131" DIAMETER BY 3" LONG. FOR OTHER NAILS SIZES REFERENCE ICC-ES EVALUATION REPORT ESR-1539 (INCLUDED IN SUPPLEMENTAL INFORMATION PACKAGE).

2. NAILS SHALL HAVE A MINIMUM PENETRATION OF 6 TIMES THE WIRE DIAMETER (UNO).

3. EDGE DISTANCE FOR ALL NAILS SHALL BE A MINIMUM OF TWO TIMES THE WIRE DIAMETER (UNO).

LAMINATED VENEER LUMBER (LVL):

1. LVL's SHALL BE FABRICATED FROM WOOD VENEERS LAMINATED TOGETHER USING HEAT, PRESSURE, AND WEATHER-RESISTANT STRUCTURAL ADHESIVE.

2. THE MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRESSES:
   - MODULUS OF ELASTICITY (E) . . . . .1.9E PSI (MIN)
   - FLEXURAL STRESS (fb) . . . . .2,900 PSI (MIN)

3. LVL MEMBERS SHALL BE FABRICATED WITHOUT CAMBER.

4. WHERE LVL's ARE SPECIFIED AS MULTI-PLY MEMBERS, FASTEN TOGETHER PER MANUFACTURER'S REQUIREMENTS.

DECKING AND SHEATHING:

1. ROOF DECKING SHALL BE EXPOSURE 1, APA RATED SHEATHING. FOR ROOF SLOPES LESS THAN 4:12, DECKING SHALL BE 19/32" THICK OSB OR PLYWOOD WITH A SPAN RATING OF 32/16. FOR ROOF SLOPES GREATER THAN OR EQUAL TO 4:12, DECKING SHALL BE 15/32" THICK OSB OR PLYWOOD WITH A SPAN RATING OF 32/16. ONE PSCL SIMPSON STRONG TIE PLYWOOD CLIP SHALL BE INSTALLED BETWEEN EVERY TRUSS/RAFTER.

2. WOOD SHEATHING AT SHEAR WALLS SHALL BE EXPOSURE 1, APA RATED 7/16" OSB AND SHALL MEET THE REQUIREMENTS OF ICBO NUMBER ER-1439.

3. FLOOR DECKING SHALL BE EXPOSURE 1, APA RATED 23/32" THICK OSB OR PLYWOOD WITH A SPAN RATING OF 48/24.

4. ROOF AND FLOOR SHEATHING SHALL BE NAILED AT 6" OC AT EDGES AND 12" OC IN FIELD W/ 8d NAILS (UNO).

5. GYPSUM SHEATHING TO BE INSTALLED AT EXTERIOR WALLS OR OTHER AREAS TO BE EXPOSED TO WEATHER SHALL BE EXTENDED EXPOSURE FIBERGLASS FACED GYPSUM SHEATHING.

DIVISION 07 - THERMAL AND MOISTURE PROTECTION:

1. WATER-RESISTIVE BARRIER SHALL BE DUPONT TYVEK OR APPROVED EQUAL AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

2. BUILDING INSULATION SHALL MEET SPECIFICATIONS IN THE BUILDING SECTIONS AND COMCHECK REPORT. ANY VARIATIONS FROM THESE SPECIFICATIONS SHALL BE SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL.

DIVISION 07 - THERMAL AND MOISTURE PROTECTION (CONT'D):

3. ALL ROOFING AND UNDERLAYMENTS SHALL CARRY A 20-YEAR MANUFACTURER'S WARRANTY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ROOFING MANUFACTURER AND SYSTEM SHALL BE SELECTED BY THE CONTRACTOR AND SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL.

4. COORDINATE ALL ROOF PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. PROVIDE AND INSTALL ALL FLASHINGS, CURBS, BLOCKING, AND OTHER RELATED ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ACHIEVE A WATER-TIGHT SYSTEM.

DIVISION 07 - THERMAL AND MOISTURE PROTECTION (CON'T'D):

5. SEALANT AND FLASHING SYSTEMS SHALL BE SELECTED BY THE CONTRACTOR AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ACHIEVE A WATER-TIGHT EXTERIOR BUILDING ENVELOPE.

DIVISION 08 - DOORS, WINDOWS & GLASS:

1. DOORS AND WINDOWS SHALL MEET THE SPECIFICATIONS GIVEN ON SHEET G9.1 - G9.3. SHOP DRAWINGS INDICATING DOOR AND WINDOW TYPES, HARDWARE, FIRE RATINGS, U-FACTOR, AND SHGC SHALL BE SUBMITTED TO PROJECT ARCHITECT OR CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.

DIVISION 09 - FINISHES:

1. INTERIOR FINISHES AND TRIMS SHALL BE SELECTED BY THE CONTRACTOR AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

DIVISION 09 - GYPSUM BOARD:

1. CONTROL JOINTS SHALL BE INSTALLED IN GYPSUM BOARD PER ASTMC840.

2. CONTROL JOINTS SHALL BE INSTALLED WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30 LINEAL FEET.

3. REFER TO UL TEST REPORTS (PROVIDED IN SIP PACKAGE) FOR GYPSUM BOARD AT FIRE RATED WALL ASSEMBLIES.

4. GYPSUM BOARD AT NON-RATED WALLS SHALL BE ½" OR 5/8" STANDARD SHEET ROCK (COORDINATE WITH OWNER/GC).

DIVISION 14 - CONVEYING EQUIPMENT:

1. ELEVATOR SHALL BE SCHINDLER 3300 MRL TRACTION ELEVATOR OR APPROVED ALTERNATE. INSTALLER SHALL SUBMIT SHOP DRAWINGS TO PROJECT ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING ELEVATOR EQUIPMENT.

DIVISION 15 - MECHANICAL:

1. FIRE SPRINKLER AND FIRE ALARM DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED ENGINEER BEARING A LICENSE IN THE STATE THE PROJECT IS LOCATED. DESIGN DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE FIRE ALARM AND FIRE SPRINKLER CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING SUBMITTALS TO ALL LOCAL AND STATE AUTHORITIES HAVE JURISDICTION OVER THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, LOCAL BUILDING OFFICIAL, LOCAL FIRE MARSHALL, STATE FIRE MARSHALL, AND STATE DEPARTMENT OF HEALTH.

2. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED AND LOCATED IN ACCORDANCE WITH IBC SECTION 906, INTERNATIONAL FIRE CODE, AND NFPA 10.

3. PLUMBING EQUIPMENT AND FIXTURES SHALL MEET THE SPECIFICATIONS GIVEN IN THE MEP PLANS, WHICH SHALL BE PREPARED BY A REGISTERED ENGINEER BEARING A LICENSE IN THE STATE THE PROJECT IS LOCATED. VARIATIONS FROM THESE SPECIFICATIONS MUST BE SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

4. HVAC EQUIPMENT SHALL MEET THE SPECIFICATIONS GIVEN IN THE MEP PLANS, WHICH SHALL BE PREPARED BY A REGISTERED ENGINEER BEARING A LICENSE IN THE STATE THE PROJECT IS LOCATED. VARIATIONS FROM THESE SPECIFICATIONS MUST BE SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

DIVISION 16 - ELECTRICAL:

1. ELECTRICAL EQUIPMENT AND FIXTURES SHALL MEET THE SPECIFICATIONS GIVEN IN THE MEP PLANS, WHICH SHALL BE PREPARED BY A REGISTERED ENGINEER BEARING A LICENSE IN THE STATE THE PROJECT IS LOCATED. VARIATIONS FROM THESE SPECIFICATIONS MUST BE SUBMITTED TO THE PROJECT ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

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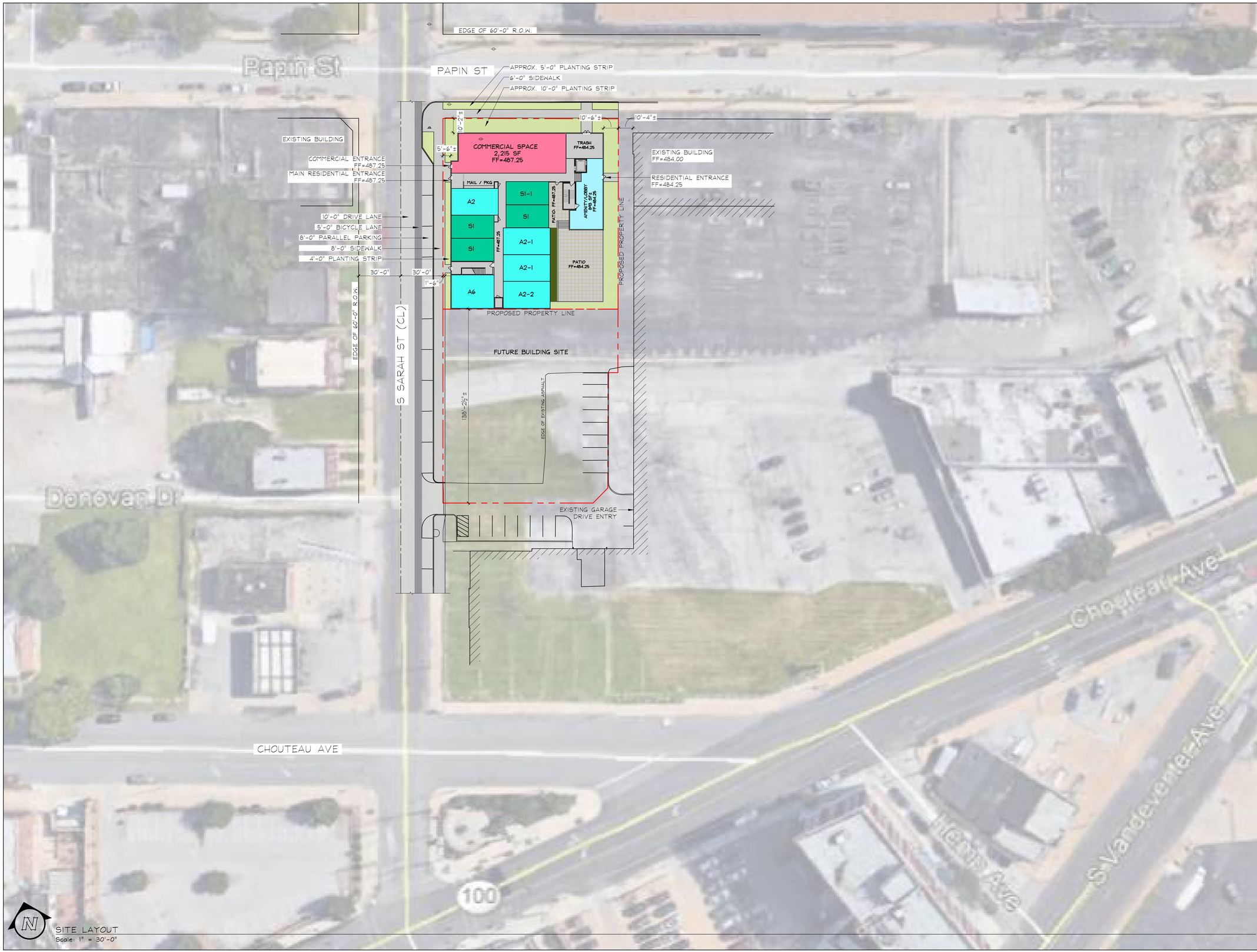
CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
GENERAL NOTES

PROJECT # 850
DATE 02/22/19
DRAWING NUMBER G0.1
DESIGN DEVELOPMENT



SITE LAYOUT
Scale: 1" = 30'-0"

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
SITE LAYOUT 2.3

PROJECT # 850

DATE 02/22/19

DRAWING NUMBER G0.2

DESIGN DEVELOPMENT

UNIT DOOR SCHEDULE

	KEY (#)	SIZE	TYPICAL LOCATION (UNO)	LEVEL	DOOR DESCRIPTION	FRAME DESC.	FIRE RATING (MIN)	BRG HEADER SIZE, GRADE & SPECIES 2x6 WALL / 2x4 WALL	TRIMMERS @ BRG HEADERS (EA END) 2 FLOORS ABOVE	1 FLOOR ABOVE	0 FLOORS ABOVE	HARDWARE SET
UNIT INTERIOR	11	–	–	–	–	–	–	–	–	–	–	–
	12	2068	COAT	ALL	HC MASONITE	PH	–	(3) 2x8 #2 SYP or (2) 2x10 #2 SYP	2	1	1	–
	13	2468	COAT / MECHANICAL	ALL	HC MASONITE	PH	–	(3) 2x8 #2 SYP or (2) 2x10 #2 SYP	2	1	1	–
	14	–	–	–	–	–	–	–	–	–	–	–
	15	–	–	–	–	–	–	–	–	–	–	–
	16	21068	BEDROOM & BATH ENTRY / LAUNDRY	ALL	HC MASONITE	PH	–	(3) 2x8 #2 SYP or (2) 2x10 #2 SYP	2	1	1	–
	–	–	–	–	–	–	–	–	–	–	–	–
	17	21068	BATH ENTRY POCKET DOOR	ALL	HC MASONITE	PH	–	(3) 2x6 #2 SYP (SEE 9/U4.3)	2	1	1	–
UNIT INTERIOR	21	(2) 1668	WALK-IN CLOSETS / LAUNDRY	ALL	HC MASONITE	PH	–	(3) 2x8 #2 SYP or (2) 2x10 #2 SYP	2	1	1	–
	22	(2) 2068	WALK-IN CLOSETS	ALL	HC MASONITE	PH	–	(3) 2x8 #2 SYP or (2) 2x10 #2 SYP	2	1	1	–
	23	–	–	–	–	–	–	–	–	–	–	–
	24	–	–	–	–	–	–	–	–	–	–	–
	25	–	–	–	–	–	–	–	–	–	–	–
	26	–	–	–	–	–	–	–	–	–	–	–
	27	–	–	–	–	–	–	–	–	–	–	–
	28	–	–	–	–	–	–	–	–	–	–	–
UNIT INTERIOR	31	–	–	–	–	–	–	–	–	–	–	–
	32	–	–	–	–	–	–	–	–	–	–	–
	33	–	–	–	–	–	–	–	–	–	–	–
	34	–	–	–	–	–	–	–	–	–	–	–
	35	–	–	–	–	–	–	–	–	–	–	–
	36	–	–	–	–	–	–	–	–	–	–	–
	37	–	–	–	–	–	–	–	–	–	–	–
UNIT INT	41	–	–	–	–	–	–	–	–	–	–	–
	42	–	–	–	–	–	–	–	–	–	–	–
	43	–	–	–	–	–	–	–	–	–	–	–
UNIT ENTRY	51	3068	UNIT ENTRY	ALL	HM	HM	20	(3) 2x10 #2 SYP	2	1	1	1
	52	–	–	–	–	–	–	–	–	–	–	–
	53	6080	PATIO / BALCONY	ALL	SLIDING GLASS W/ SDL	VINYL	–	(3) 2x10 #2 SYP	2	1	1	3
	54	9080	PATIO / BALCONY	ALL	SLIDING GLASS W/ SDL	VINYL	–	(3) 2x10 #2 SYP	2	1	1	3
	55	–	–	–	–	–	–	–	–	–	–	–
	56	–	–	–	–	–	–	–	–	–	–	–
	57	–	–	–	–	–	–	–	–	–	–	–
	58	–	–	–	–	–	–	–	–	–	–	–
	59	–	–	–	–	–	–	–	–	–	–	–
	60	–	–	–	–	–	–	–	–	–	–	–

WINDOW SCHEDULE

	KEY (#)	SIZE	LOCATION	LEVEL	WINDOW DESCRIPTION	FRAME DESC.	FIRE RATING (MIN)	HEADER HEIGHT (UNO)	BRG HEADER SIZE, GRADE & SPECIES	TRIMMERS @ BRG HEADERS (EA END) 2 FLOORS ABOVE	1 FLOOR ABOVE	0 FLOORS ABOVE
EXTERIOR	A	2860	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	B	3060	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	Bf	3060	STAIRS	ALL	PICTURE w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	C	(2) 2846	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	D	(2) 2850	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	6'-10¼"	(3) 2x10 #2 SYP	2	1	1
	E	(2) 2860	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	F	(2) 3050	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	6'-10¼"	(3) 2x10 #2 SYP	2	1	1
	G	(2) 3060	VARIOUS UNITS	ALL	SINGLE HUNG w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	Gf	(2) 3060	CORRIDOR	ALL	PICTURE w/SDL	VINYL	–	8'-0⅞"	(3) 2x10 #2 SYP	2	1	1
	H	1854	VARIOUS UNITS	ALL	TRANSOM w/SDL	VINYL	–	9'-0¼"	(3) 2x10 #2 SYP	2	1	1
	J	1860	VARIOUS UNITS	ALL	TRANSOM w/SDL	VINYL	–	9'-0¼"	(3) 2x10 #2 SYP	2	1	1

DOOR & WINDOW SCHEDULE NOTES:

1. WINDOW HEADER HEIGHTS SHOWN ABOVE ARE TYPICAL. WINDOWS WITH NON-TYPICAL HEADER HEIGHTS ARE DIMENSIONED ON FRAMING ELEVATIONS.
2. OPERABLE WINDOWS WITH SILL HEIGHTS LESS THAN 36" ARE REQUIRED TO USE WINDOW OPENING CONTROL DEVICES PER IBC 1015.8.1.
3. KING STUDS AND TRIMMERS SHALL MEET OR EXCEED STUD SPECIFICATIONS FOR THE WALL IN WHICH THEY OCCUR.
4. AT OPENINGS IN INTERIOR NON-BEARING WALLS, PROVIDE (1) 2x KING STUD & (1) 2x TRIMMER (EA END).
5. AT OPENINGS IN INTERIOR LOAD-BEARING WALLS, PROVIDE (1) 2x KING STUD (EA END) AND REFER TO SCHEDULE ABOVE FOR REQUIRED NUMBER OF TRIMMERS.
6. AT OPENINGS IN EXTERIOR WALLS, PROVIDE (1) 2x6 KING STUD FOR OPENINGS 5'-0" OR LESS, (2) 2x6 KING STUDS FOR OPENINGS GREATER THAN 5'-0" AND LESS THAN 10'-6" AND REFER TO SCHEDULE ABOVE FOR REQUIRED NUMBER OF TRIMMERS.
7. ALL OPENINGS IN RATED WALLS SHALL HAVE A MINIMUM OF (3) 2x MEMBERS TOTAL AT EACH END TO SATISFY THE 1-HR FIRE RATING. IF THE TOTAL SPECIFIED NUMBER OF KING STUDS AND TRIMMERS IS LESS THAN (3) AT EACH END, PROVIDE ADDITIONAL MEMBERS.
8. AT ALL LOAD BEARING OPENINGS, FLOOR SYSTEMS SHALL BE FULLY BLOCKED WITH AN EQUAL NUMBER OF 2x MEMBERS AS REQUIRED FOR THE OPENING ABOVE THE FLOOR CAVITY.
9. HEADERS IN BEARING WALLS SHALL BE FULLY SHIMMED TO MATCH WALL THICKNESS.
10. SEE FRAMING ELEVATIONS FOR WINDOWS & DOORS REQUIRED TO HAVE SAFETY GLAZING (TEMPERED GLASS) PER IBC SECTION 2406.4.
11. WINDOWS/GLAZING SHALL MEET OR EXCEED THE FOLLOWING CRITERIA:
    DESIGN PRESSURE (DP) = 25 PSF (MIN)
    THERMAL TRANSMITTANCE 'U' FACTOR = 0.34 (MAX)
    SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.40 (MIN)
12. ABBREVIATIONS:
    HM=HOLLOW METAL
    PH=PRE-HUNG WOOD
    HCM=HOLLOW CORE MASONITE
    AL=ALUMINUM STORE FRONT
    SDL=SIMULATED DIVIDED LIGHT

BEARING WALL STUD & PLATE SCHEDULE

STUD SPECIFICATIONS			2x4 WALL CAPACITY (PLF)					2x6 WALL CAPACITY (PLF)					2x4/2x6 PLATES - SPECIES & GRADE		
				9'-1⅛"		10'-1⅛"			9'-1⅛"		10'-1⅛"		BOTTOM		DOUBLE
KEY	SPECIES & GRADE	SPACING	KEY COLOR	INTERIOR	EXTERIOR	INTERIOR	EXTERIOR	KEY COLOR	INTERIOR	EXTERIOR	INTERIOR	EXTERIOR	BSMT/LEVEL 1	LEVEL 2-4	TOP PLATE
A	SPF STUD	16" OC		1365	690	1140	455		3290	3290	3255	2555	#2 / ACQ	#2 / SPF	#2 / SPF
B	SPF STUD	12" OC		1820	1100	1525	780		4720	4385	4340	3760	#2 / ACQ	#2 / SPF	#2 / SPF
C	SPF STUD	2@16" OC		2730	1970	2285	1480		5945	5945	5945	5945	#2 / ACQ	#2 / SPF	#2 / SPF
D	#2 SPF	2@16" OC		3370	2675	2770	2055		5945	5945	5945	5945	#2 / ACQ	#2 / SPF	#2 / SPF

SEE SHEAR WALL PLANS FOR REQUIRED WALL SHEATHING & FASTENING

BEAM SCHEDULE

KEY (#)	DESCRIPTION	KEY (#)	DESCRIPTION
1	(3) 2x6 #2 SYP	2	(2) 2x6 #2 SYP
3	(3) 2x8 #2 SYP	4	(2) 2x8 #2 SYP
5	(3) 2x10 #2 SYP	6	(2) 2x10 #2 SYP
7	(3) 2x12 #2 SYP	8	(2) 2x12 #2 SYP
9	NOT USED	10	NOT USED
11	(3) 1¾"x7¼" LVL's	12	(2) 1¾"x7¼" LVL's
13	(3) 1¾"x9¼" LVL's	14	(2) 1¾"x9¼" LVL's
15	(3) 1¾"x9½" LVL's	16	(2) 1¾"x9½" LVL's
17	(3) 1¾"x11¼" LVL's	18	(2) 1¾"x11¼" LVL's
19	(3) 1¾"x11⅞" LVL's	20	(2) 1¾"x11⅞" LVL's
21	(3) 1¾"x14" LVL's	22	(2) 1¾"x14" LVL's
23	(3) 1¾"x16" LVL's	24	(2) 1¾"x16" LVL's
25	(3) 1¾"x18" LVL's	26	(2) 1¾"x18" LVL's
27	(3) 1¾"x20" LVL's	28	(2) 1¾"x20" LVL's
29	(3) 2x8 #2 SYP PT	30	NOT USED
31	NOT USED	32	NOT USED

1. BEAMS ARE LABELED 'DROPPED', 'RAISED', OR 'FLUSH' TO INDICATE THE ELEVATION OF THE BEAM, AS DEFINED BELOW:
   DROPPED: T/O BEAM = B/O TRUSS/JOIST
   RAISED: T/O BEAM = T/O TRUSS/JOIST
   FLUSH: B/O BEAM = B/O TRUSS/JOIST
2. SHIM BEAMS TO WALL WIDTH WHERE APPLICABLE.
3. 'PT' INDICATES PRESSURE TREATED LUMBER (ACQ).

DOORS AND WINDOWS:

1. DOORS AND HARDWARE SHALL COMPLY WITH IBC-2015, ANSI 117.1-2009, AND THE FAIR HOUSING ACT.
2. EQUIP ALL DOORS CONFORMING TO ANSI A156.2. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
3. DOOR HARDWARE FINISH & STYLE TO BE SELECTED BY CONTRACTOR.
4. DOOR ASSEMBLIES IN CORRIDORS SHALL MEET THE FIRE RATINGS SHOWN IN THE DOOR SCHEDULE AND MEET THE REQUIREMENTS FOR SMOKE AND DRAFT CONTROL IN ACCORDANCE WITH UL 1784 (IBC 716.5.3.1).
5. ALL ROUGH OPENING DIMENSIONS FOR DOORS & WINDOWS MUST BE VERIFIED WITH GC PRIOR TO COMMENCING WORK.
6. ALL FIRE RATED DOORS AND SHUTTERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND NFPA 80 (STANDARD FOR FIRE DOORS AND OTHER OPENING PROTECTIVES).

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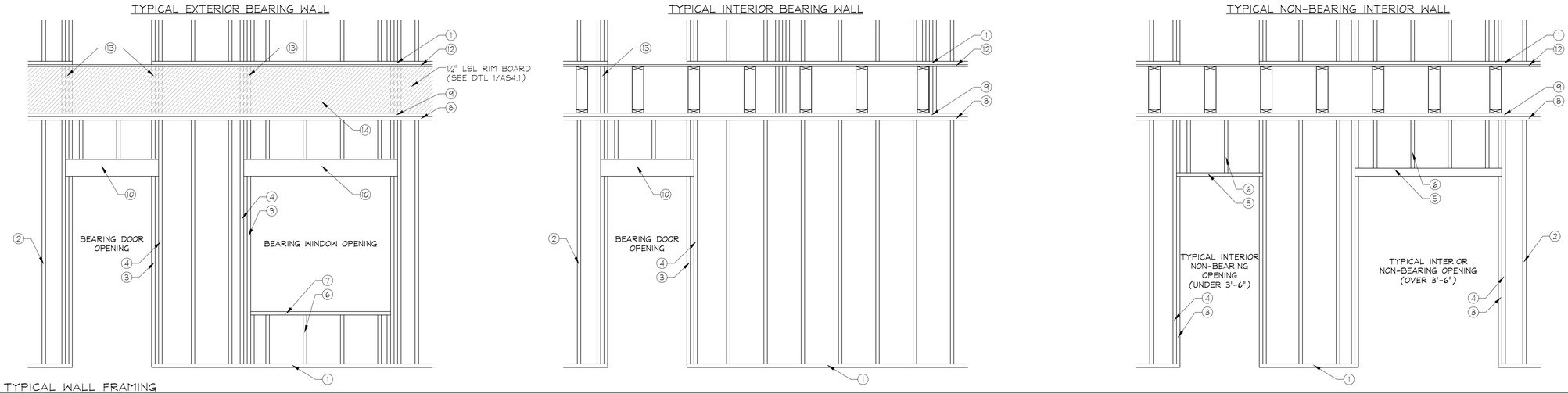
CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
UNIT DOOR, WINDOW & MISC SCHEDULES

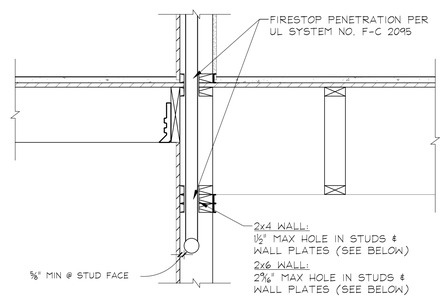
PROJECT # 850
DATE 02/22/19
DRAWING NUMBER G5.1
DESIGN DEVELOPMENT



9 / G6.1 TYPICAL WALL FRAMING
Scale: NTS

WALL COMPONENTS	
KEY	DESCRIPTION
1	BOTTOM PLATE
2	STUD
3	TRIMMER
4	KING STUD
5	HEADER CHORD
6	CRIPPLE STUD
7	SILL PLATE
8	TOP PLATE
9	2nd TOP PLATE
10	BEARING HEADER**
11	EXTERIOR SHEATHING
12	FLOOR SHEATHING
13	SQUASH BLOCKS
14	FLOOR RIM (SEE1/AS4.1)

** BEARING HEADERS SHALL BE SHIMMED TO FULL THICKNESS OF WALL WITH OSB/PLYWOOD

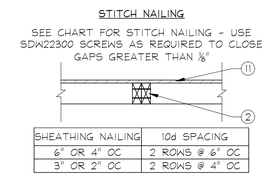


BEARING & SHEAR WALL TOP PLATES:
AT LEAST 50% OF TOP PLATE LUMBER CROSS SECTION MUST REMAIN, OTHERWISE THE FOLLOWING REPAIRS MUST BE MADE:
1. REINFORCE PLATES WITH CTS218 EA SIDE (4½" MAX GAP).
2. INSTALL ADDITIONAL STUD(S) DIRECTLY BENEATH TRUSSES OR BEAMS BEARING IN THE AFFECTED STUD CAVITY.

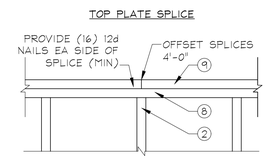
BEARING WALL STUDS:
AT LEAST 50% OF STUD CROSS SECTION MUST REMAIN, OTHERWISE THE STUD MUST BE REPLACED.

LUMBER DEFECTS:
KNOTS, WANE, OR OTHER LUMBER DEFECTS MUST BE CONSIDERED WHEN DETERMINING WHETHER 50% OF MATERIAL REMAINS. 50% OF THE FULL LUMBER CROSS SECTION MUST REMAIN AS SOLID LUMBER.

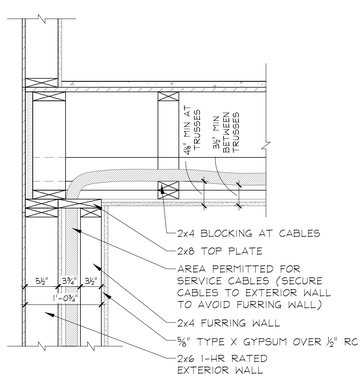
5 / G6.1 PLUMBING PENETRATION @ STRUCTURAL WALLS
Scale: 1" = 1'-0"



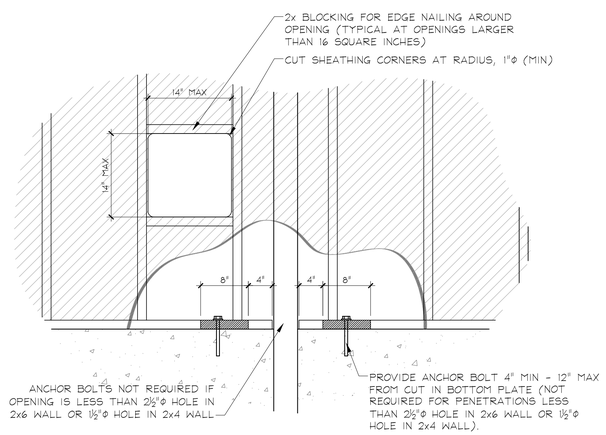
SHEATHING NAILING	10d SPACING
6" OR 4" OC	2 ROWS @ 6" OC
3" OR 2" OC	2 ROWS @ 4" OC



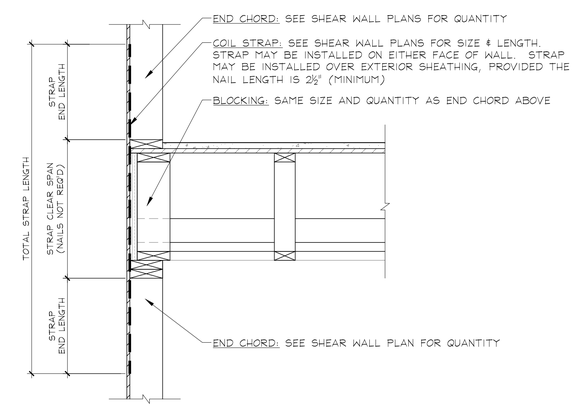
2 / G6.1 SHEAR WALL STITCH NAILING & TOP PLATE SPLICE
Scale: 1" = 1'-0"



7 / G6.1 FURRING WALL AT ELECTRIC METERS
Scale: 1" = 1'-0"



4 / G6.1 PLUMBING PENETRATION @ SHEAR WALL
Scale: 1" = 1'-0"



1 / G6.1 SHEAR WALL STRAPPING @ FLOOR SYSTEM
Scale: 1" = 1'-0"

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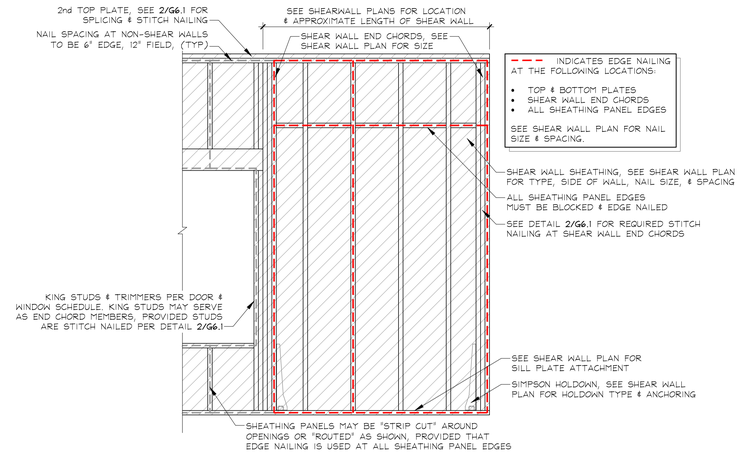
CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

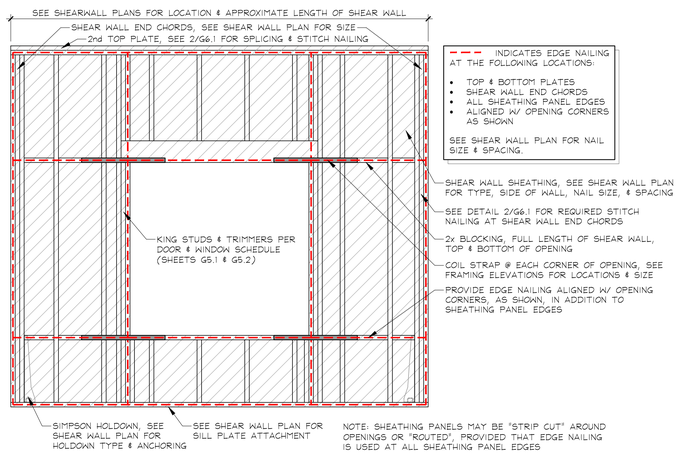
NO	REVISIONS	DATE

DRAWING TITLE
TYPICAL FRAMING DETAILS

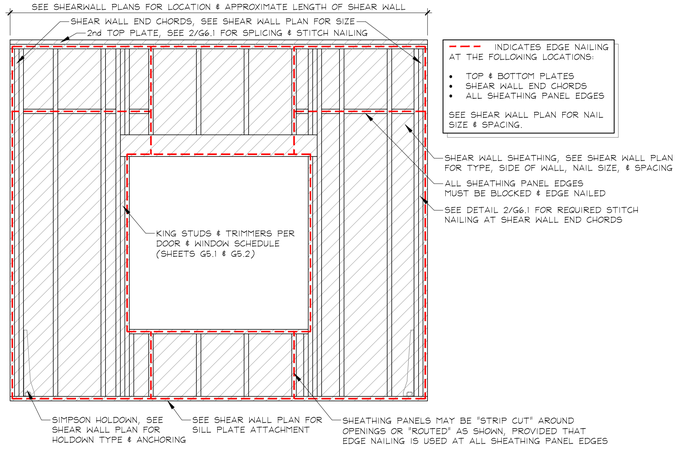
PROJECT # 850
DATE 02/22/19
DRAWING NUMBER G6.1
DESIGN DEVELOPMENT



2 / G6.2 SHEAR WALL ENDING AT OPENING (SEGMENTED)
Scale: 1/2" = 1'-0"



3 / G6.2 SHEAR WALL ACROSS OPENING (FORCE TRANSFER AROUND OPENING)
Scale: 1/2" = 1'-0"



1 / G6.2 SHEAR WALL ACROSS OPENING (PERFORATED)
Scale: 1/2" = 1'-0"

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

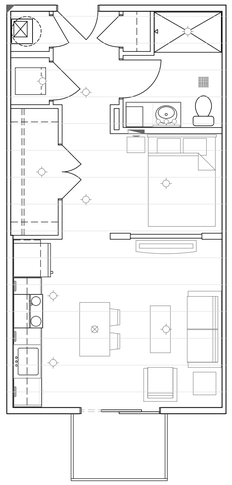
ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
TYPICAL FRAMING DETAILS

PROJECT # 850
DATE 02/22/19
DRAWING NUMBER G6.2
DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT S1 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN

Scale: 3/16" = 1'-0"

= = = HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

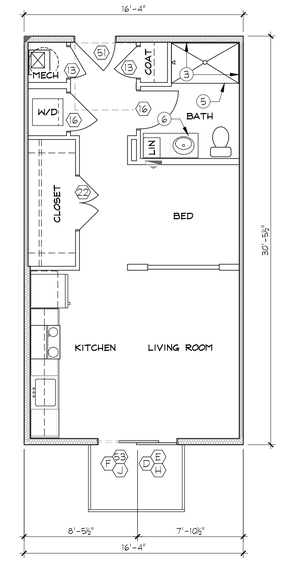
– – – SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT S1 FLOOR PLAN - HEATED SF (498) - QTY (12)

Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

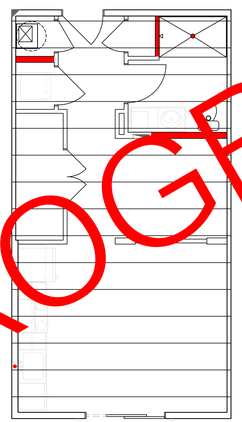
UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.



UNIT S1 FLOOR FRAMING

Scale: 3/16" = 1'-0"

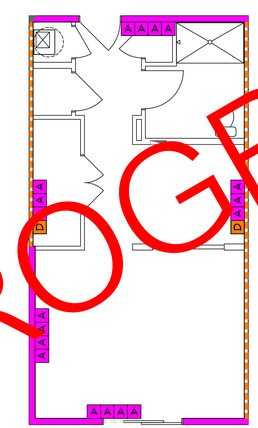
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE, 2 FLOOR(S) ABOVE, 1 FLOOR(S) ABOVE, 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT S1 WALL FRAMING

Scale: 3/16" = 1'-0"

IN PROGRESS

IN PROGRESS

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: S1

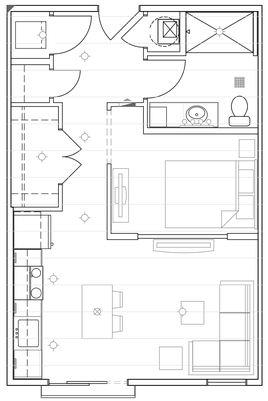
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.1

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT S2 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN

Scale: 3/16" = 1'-0"

= = = HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

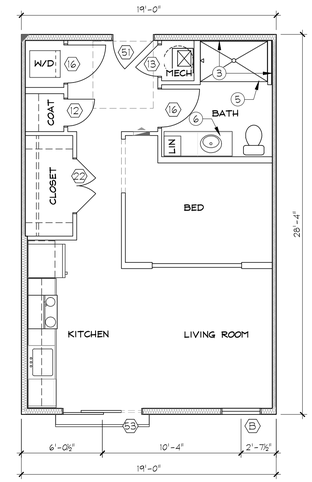
– – – SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT S2 FLOOR PLAN - HEATED SF (538) - QTY (3)

Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. ◤ INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.

UNIT S2 FLOOR FRAMING

Scale: 3/16" = 1'-0"

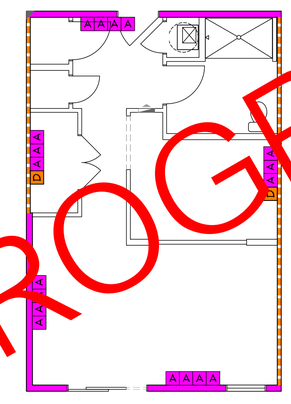
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE, 2 FLOOR(S) ABOVE, 1 FLOOR(S) ABOVE, 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT S2 WALL FRAMING

Scale: 3/16" = 1'-0"

IN PROGRESS

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VE DESIGN GROUP OF MO, LLC
MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: S2

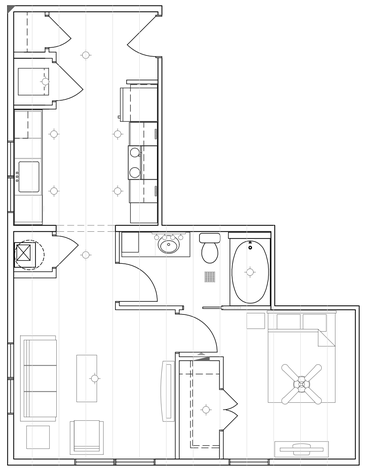
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.2

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT A1 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN
Scale: 3/16" = 1'-0"

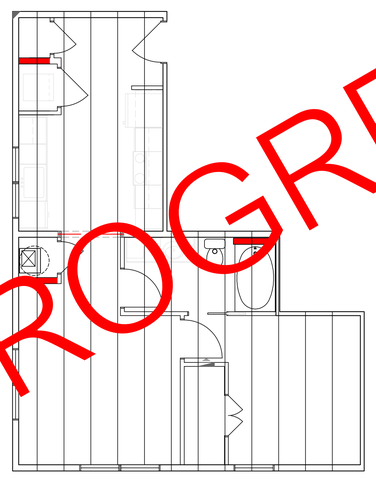
UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.



IN PROGRESS

UNIT A1 FLOOR FRAMING
Scale: 3/16" = 1'-0"

HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

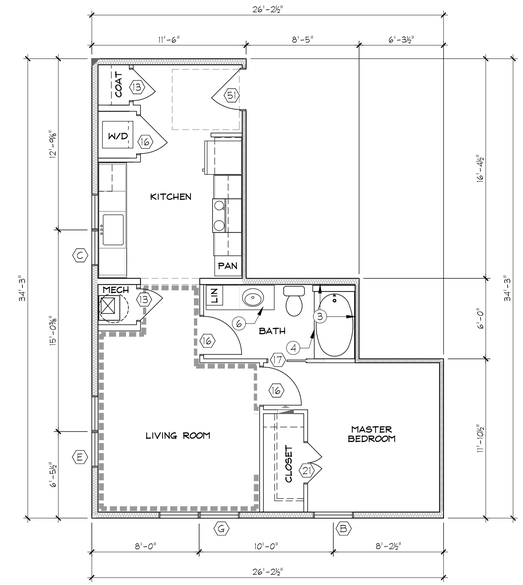
SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT A1 FLOOR PLAN - HEATED SF (619) - QTY (3)
Scale: 3/16" = 1'-0"

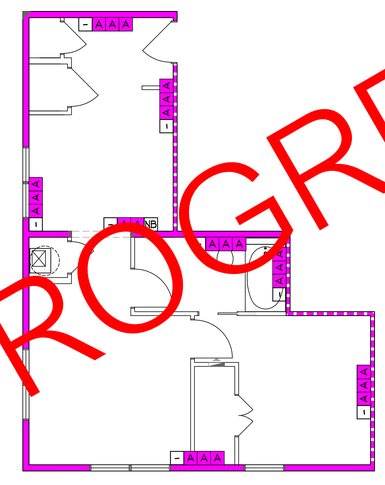
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE, 2 FLOOR(S) ABOVE, 1 FLOOR(S) ABOVE, 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



IN PROGRESS

COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT A1 WALL FRAMING
Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

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MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: A1

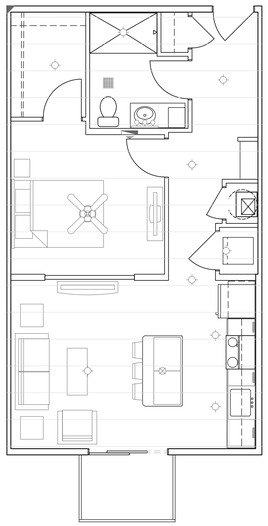
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.3

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT A2 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN

Scale: 3/16" = 1'-0"

HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

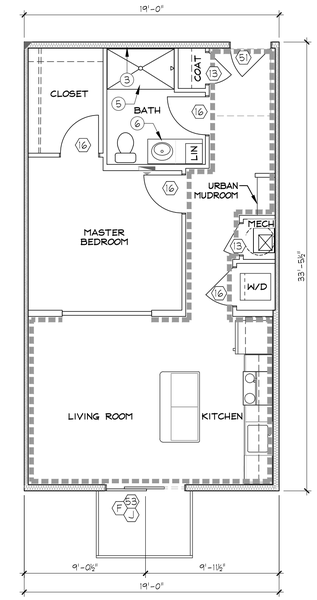
SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT A2 FLOOR PLAN - HEATED SF (636) - QTY (9)

Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

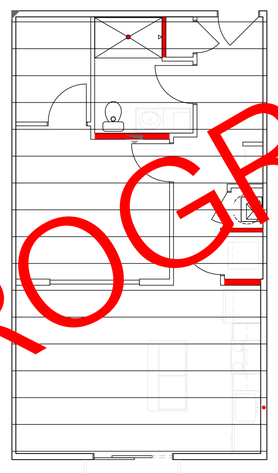
UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.



IN PROGRESS

UNIT A2 FLOOR FRAMING

Scale: 3/16" = 1'-0"

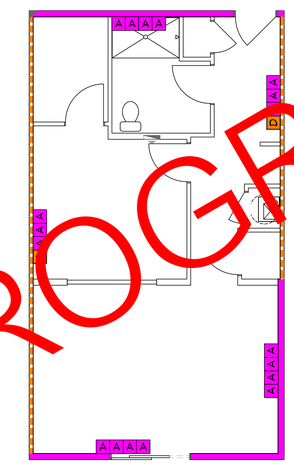
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE, 2 FLOOR(S) ABOVE, 1 FLOOR(S) ABOVE, 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



IN PROGRESS

COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT A2 WALL FRAMING

Scale: 3/16" = 1'-0"

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VE DESIGN GROUP OF MO, LLC
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MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: A2

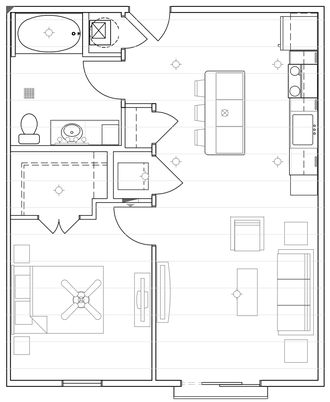
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.4

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT A3 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN

Scale: 3/16" = 1'-0"

HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

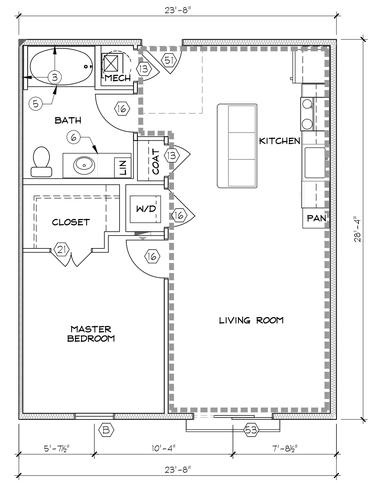
SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT A3 FLOOR PLAN - HEATED SF (671) - QTY (3)

Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.

UNIT A3 FLOOR FRAMING

Scale: 3/16" = 1'-0"

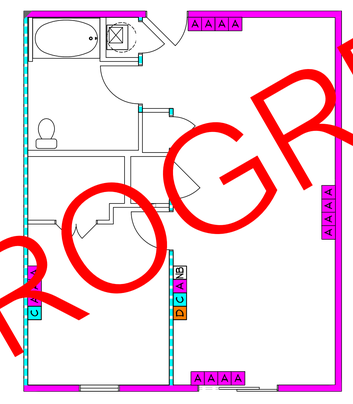
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE; 2 FLOOR(S) ABOVE; 1 FLOOR(S) ABOVE; 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT A3 WALL FRAMING

Scale: 3/16" = 1'-0"

IN PROGRESS

VE DESIGN GROUP
520 E. JACKSON ST, SUITE 2
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VE DESIGN GROUP OF MO, LLC.
MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: A3

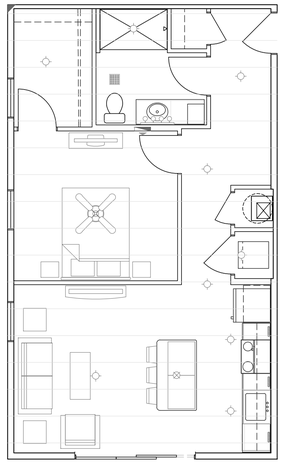
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.5

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT A4 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN

Scale: 3/16" = 1'-0"

= = = HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

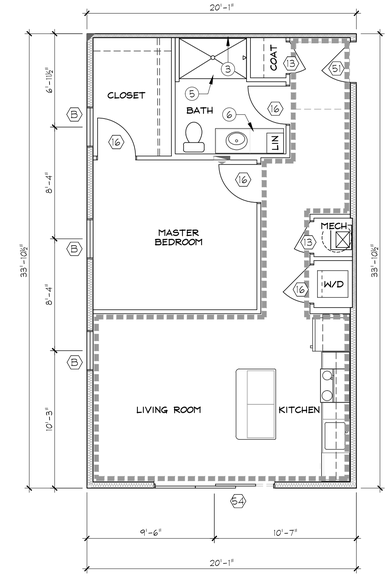
– – – SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT A4 FLOOR PLAN - HEATED SF (695) - QTY (3)

Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

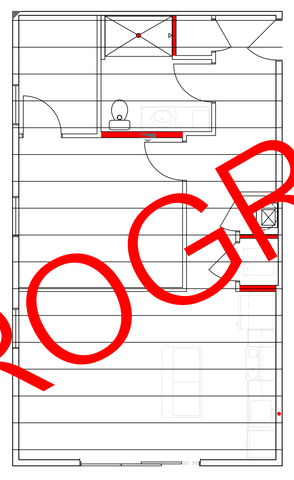
UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.



IN PROGRESS

UNIT A4 FLOOR FRAMING

Scale: 3/16" = 1'-0"

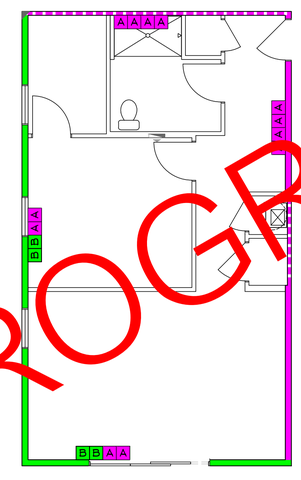
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE; 2 FLOOR(S) ABOVE; 1 FLOOR(S) ABOVE; 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



IN PROGRESS

COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT A4 WALL FRAMING

Scale: 3/16" = 1'-0"

VE DESIGN GROUP
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VE DESIGN GROUP OF MO, LLC
MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: A4

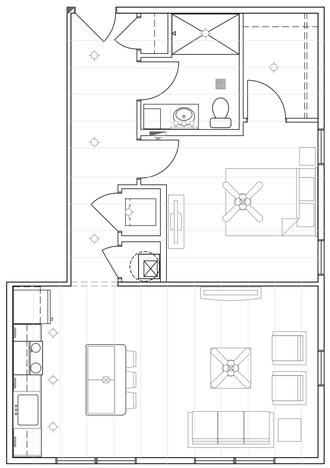
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.6

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT A5 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN

Scale: 3/16" = 1'-0"

HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

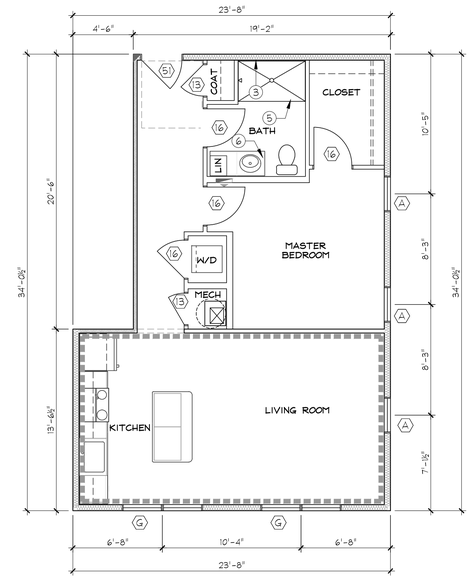
SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT A5 FLOOR PLAN - HEATED SF (713) - QTY (3)

Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:

9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).

9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).

9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

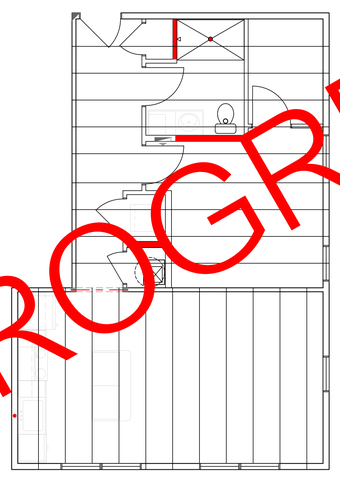
UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.



IN PROGRESS

UNIT A5 FLOOR FRAMING

Scale: 3/16" = 1'-0"

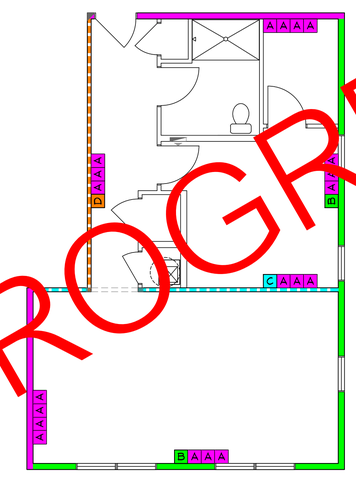
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE, 2 FLOOR(S) ABOVE, 1 FLOOR(S) ABOVE, 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



IN PROGRESS

COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT A5 WALL FRAMING

Scale: 3/16" = 1'-0"

VE DESIGN GROUP
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VE DESIGN GROUP OF MO, LLC
MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE: UNIT PLANS: A5

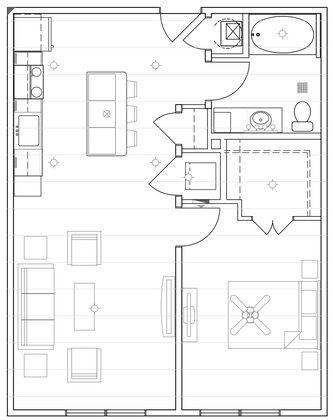
PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: U1.7

DESIGN DEVELOPMENT

LIGHT FIXTURE PLACEMENT:
- PLACE LIGHTS AS SHOWN. ADJUST FOR STRUCTURE AS NEEDED WHILE MAINTAINING DESIGN INTENT.
- SEE INTERIOR ELEVATIONS (U4 SHEETS) FOR VANITY DIMENSIONS AND CENTER FIXTURES ACCORDINGLY.



UNIT A6 LIGHT FIXTURE & FURNITURE PLACEMENT PLAN
Scale: 3/16" = 1'-0"

= = = HIGH/LOW CLOSET RODS (T/SHELVES @ 42" / 84" AFF)

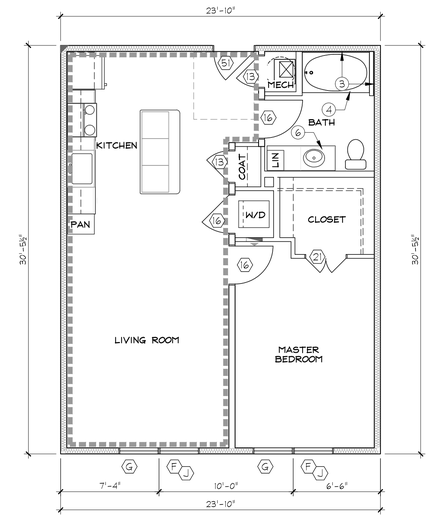
- - - SINGLE CLOSET ROD (T/SHELF @ 72" AFF). AT BEDROOM CLOSETS, INCLUDE ANGLED SHOE SHELF BELOW (14" AFF REAR, 7" AFF FRONT)

INDICATES CROWN MOULDING

INDICATES ELECTRIC PANEL (SEE MEP)

(#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1 & G5.2 FOR SCHEDULE. WHERE MULTIPLE TYPES ARE SHOWN, SEE FRAMING ELEVATIONS.

INDICATES R13 BATTS @ 2x4 INTERIOR WALLS, R19 BATTS @ 2x6 EXTERIOR WALLS AND CORRIDOR WALLS.



UNIT A6 FLOOR PLAN - HEATED SF (726) - QTY (4)
Scale: 3/16" = 1'-0"

UNIT PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF TRUSS (UNO).
2. DOORS & WINDOWS ARE DIMENSIONED TO CENTER, CENTERED BETWEEN ADJACENT WALLS OR 3" AWAY FROM NEAREST WALL.
3. SEE BUILDING FLOOR PLANS FOR OVERALL BUILDING LAYOUT AND SPECIFICATIONS.
4. INDICATES REFERENCE POINT FOR STARTING DIMENSIONAL LAYOUT & UNIT ORIENTATION.
5. ALL UNITS ARE 'TYPE B' (UNO). SEE BUILDING PLANS FOR UNITS COMPLYING WITH 'TYPE A' AND 'IAC' REQUIREMENTS. SEE G4.1- G4.2 FOR REQUIRED CLEARANCES AT FIXTURES, APPLIANCES, KITCHEN ISLANDS, ETC.
6. UNIT FINISHES TO BE SELECTED BY OWNER.
7. SEE U4.1-U4.4 FOR INTERIOR ELEVATIONS AT KITCHENS AND BATHS.
8. SEE G0.1 FOR GENERAL NOTES.
9. FLOOR ASSEMBLIES & FINISHES:
   - 9.1. INDICATES CARPET & PADDING OVER 1" GYP-CRETE OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING (UNO). (UL #L521, STC 56, IIC 69).
   - 9.2. INDICATES VINYL PLANK OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 56).
   - 9.3. INDICATES CERAMIC TILE OVER ¾" GYP-CRETE OVER ¼" SOUND MAT OVER ¾" SUBFLOOR OVER OPEN-WEB FLOOR TRUSSES WITH INSULATION, RESILIENT CHANNEL AND ⅝" GYPSUM CEILING. (UL #L521, STC 56, IIC 54).

KEY NOTES:

1. 18" DEEP OPEN WEB, METAL PLATE CONNECTED WOOD FLOOR TRUSSES SPACED @ 24" OC (UNO)
2. 2x6 KNEE WALL
3. REQUIRES PRE-INSTALLED ⅝" TYPE 'X' GYP AT WALL AND/OR CEILING PRIOR TO COMPLETION OF FRAMING OR INSTALL OF FIXTURE TO MAINTAIN FIRE-RATING
4. 36" x 60" TUB w/ SURROUND (UNO)
5. 36" x 60" SHOWER BASE w/ SURROUND (UNO)
6. VANITY CABINET & COUNTERTOP (SEE U4.4)
7. 42" GUARD RAIL w/ BALUSTERS @ 4" OC (MAX) (SEE BLDG FLOOR PLANS & ELEVATIONS FOR UNITS W/OUT RAILING)
8. 2x10's #2 SYP PT @ 16" OC

UNIT FLOOR FRAMING NOTES:
- PLAN SHOWS UNIT FLOOR SYSTEM AND WALLS BELOW.
- VERIFY PLUMBING DRAIN LOCATIONS WITH CONTRACTOR AND ADJUST TRUSS SPACING AS REQUIRED.
- SEE BUILDING FRAMING PLANS FOR CORRIDOR FRAMING & ADDITIONAL FRAMING DETAIL CALLOUTS.

INDICATES WALL DESIGNATED FOR PLUMBING PENETRATIONS.

INDICATES PLUMBING VENT (2" MAX I.D.), OFFSET FROM LIGHT FIXTURE 6" MINIMUM.

INDICATES INTERIOR LOAD BEARING WALL (LEVELS 1-3). ALL UNIT PERIMETER WALLS ARE BEARING (UNO).

INDICATES BEAM FOR TRUSS BEARING. SEE G5.1 FOR BEAM SCHEDULE.

UNIT A6 FLOOR FRAMING
Scale: 3/16" = 1'-0"

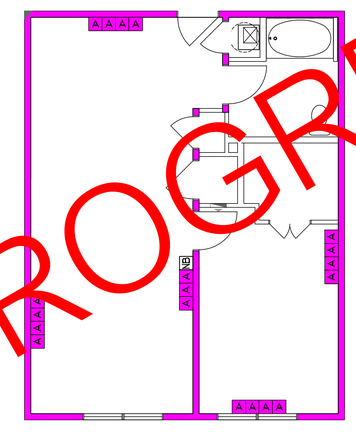
UNIT WALL FRAMING NOTES:
- UNSHADED WALLS ARE NON-BEARING (SPF STUD GRADE @ 16 OC).
- INTERIOR NON-BEARING WALLS ARE 2x4 (UNO).
- SEE FLOOR AND ROOF FRAMING PLANS FOR BEAM INFORMATION.
- SEE SHEAR WALL PLANS FOR EXTERIOR SHEATHING TYPE & FASTENING.

B B A A — 3 FLOOR(S) ABOVE; 2 FLOOR(S) ABOVE; 1 FLOOR(S) ABOVE; 0 FLOOR(S) ABOVE

INDICATES BEARING WALL STUD SPECIFICATIONS. SEE G5.1 FOR SCHEDULE. COLOR SHOWN IN WALL INDICATES SPECS FOR THE LOWEST LEVEL ON WHICH THE UNIT OCCURS.

– INDICATES UNIT TYPE DOES NOT OCCUR AT LEVEL SHOWN.

NB INDICATES WALL IS NON-BEARING AT LEVEL SHOWN.



COMPLETE WALL FRAMING DIMENSIONS TO BE PROVIDED IN CONSTRUCTION RELEASE PLANS

UNIT A6 WALL FRAMING
Scale: 3/16" = 1'-0"

IN PROGRESS
IN PROGRESS

VE DESIGN GROUP
520 E. JACKSON ST, SUITE 2
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PHONE: 417.612.2913 DESIGN@VEDESIGNGROUP.COM

VE DESIGN GROUP OF MO, LLC
MO CERTIFICATE OF AUTHORITY #2012033374 (ENGINEERING)
MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

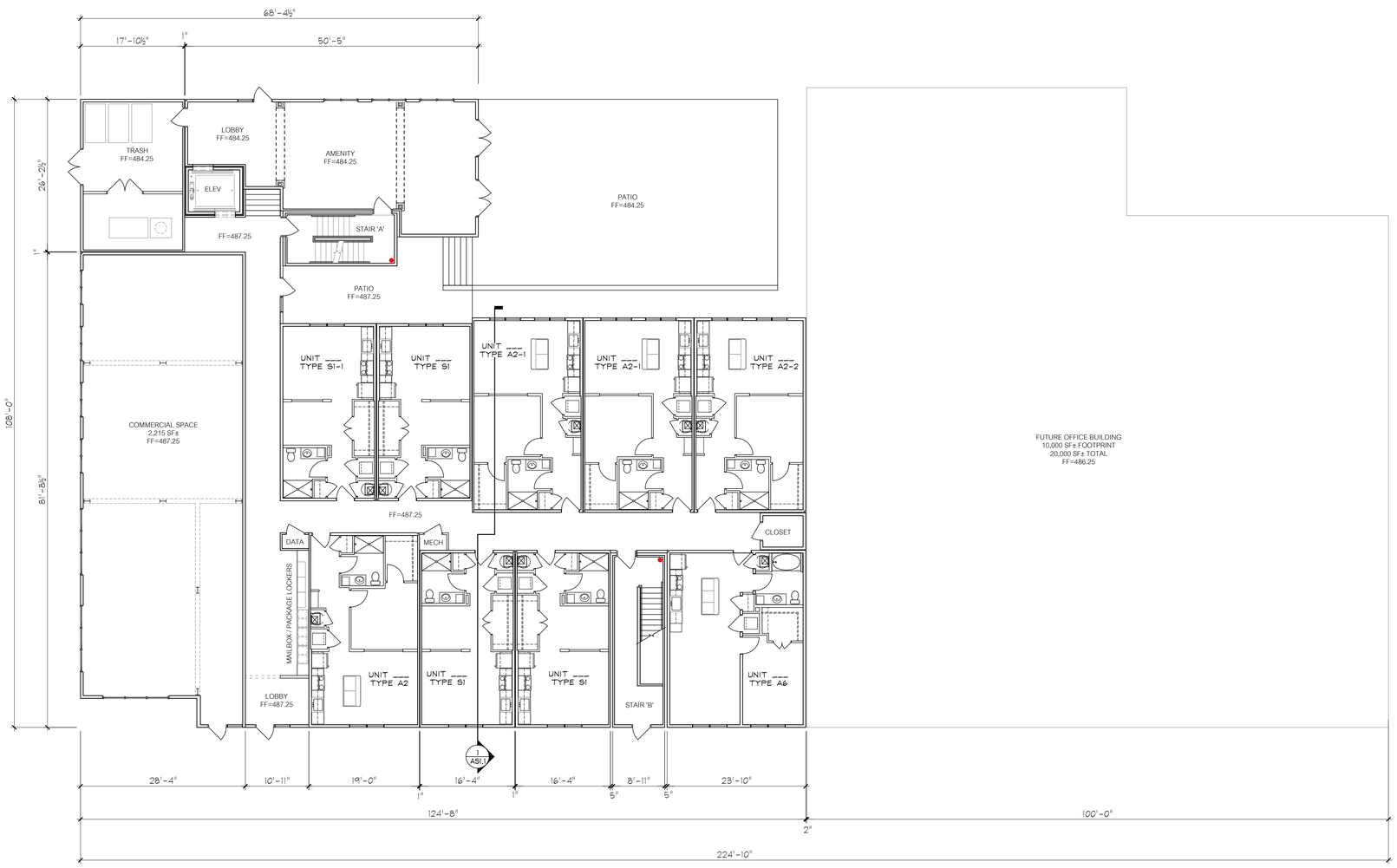
DRAWING TITLE: UNIT PLANS: A6

PROJECT #: 850

DRAWING NUMBER: U1.8

DATE: 02/22/19

DESIGN DEVELOPMENT



FLOOR PLAN - LEVEL 1

Scale: 3/32" = 1'-0"

BUILDING FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD (UNO).
2. SEE ENLARGED UNIT & STAIR PLANS FOR DETAILED INFORMATION NOT SHOWN.
3. ◤ INDICATES REFERENCE POINT FOR UNIT ORIENTATION & DIMENSIONAL LAYOUT.
4. SEE BUILDING ELEVATIONS FOR EXTERIOR FINISH MATERIALS.
5. SEE FRAMING ELEVATIONS & SECTIONS FOR WALL HEIGHTS, FLOOR-TO-FLOOR HEIGHTS, PARAPET HEIGHTS, ETC.
6. FINISH SPECIFICATIONS ARE BY OWNER / GC.
7. SEE ENLARGED UNIT PLANS FOR FLOOR FINISH & ASSEMBLIES INSIDE UNITS.
8. 8'-11" AFF INDICATES CEILING HEIGHT FROM TOP OF SLAB OR GYP-CRETE TO BOTTOM OF GYPSUM CEILING.
9. SEE G SHEETS (FIRE PROTECTION) FOR FIRE RATED WALLS AND OPENINGS.
10. ● INDICATES CLASS I STANDPIPE INSTALLED PER IBC SECTION 905 & NFPA 14. SEE SPRINKLER DESIGN DRAWINGS FOR MORE INFORMATION.
11. COMMON WALLS NOT SHOWN IN ENLARGED PLANS ARE 2x4 (UNO). STUDS TO BE SPACED @ 16" OC (SPF STUD). PLATES TO BE #2 (TREATED @ CONCRETE).
12. FLOORING OVER CONCRETE OR 1" GYP-CRETE IN COMMON AREAS TO BE SPECIFIED BY OWNER / GC.
13. SEE G0.1 FOR GENERAL NOTES.

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

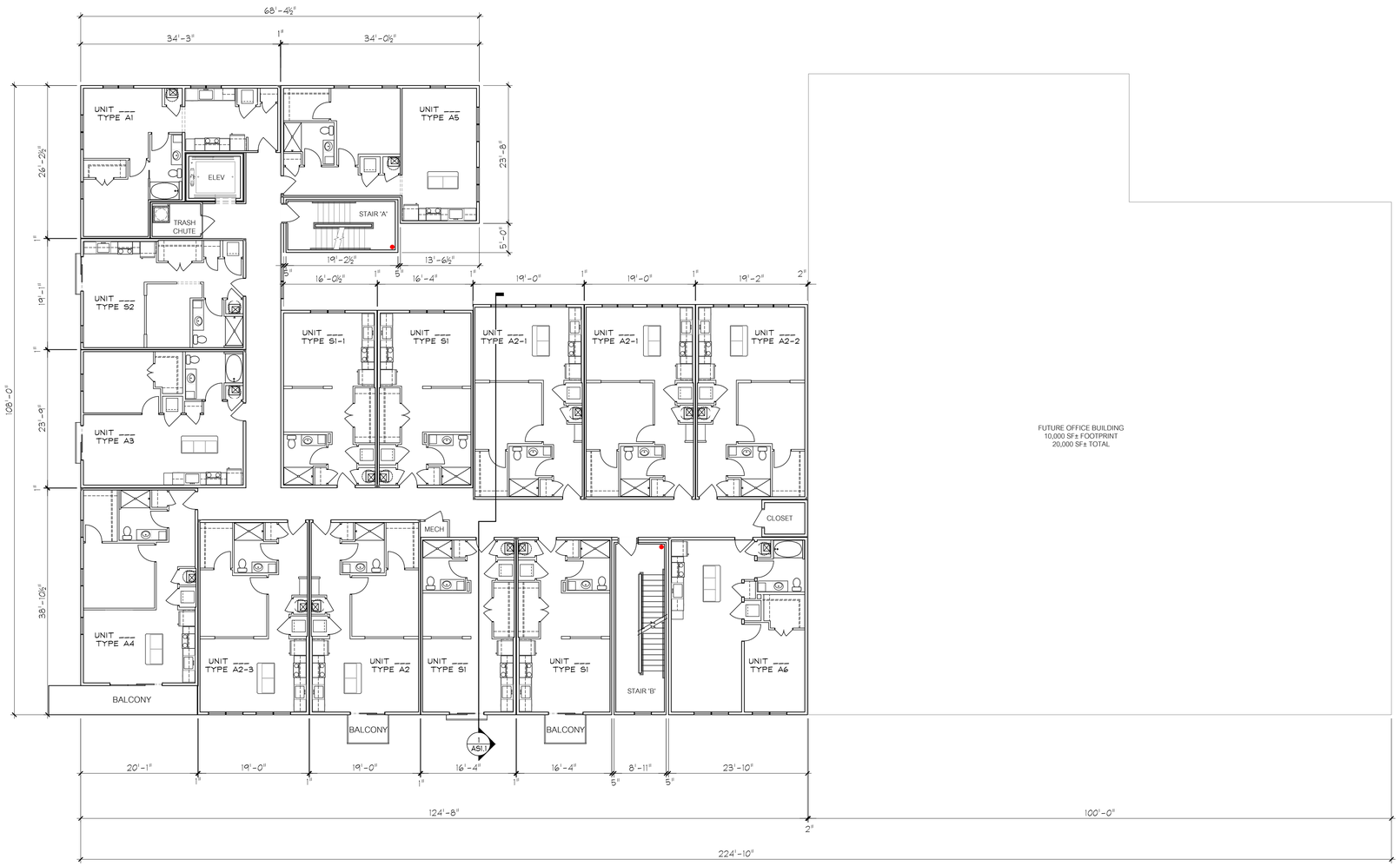
DRAWING TITLE: FLOOR PLAN - LEVEL 1

PROJECT #: 850

DATE: 02/22/19

DRAWING NUMBER: A1.1

DESIGN DEVELOPMENT



FLOOR PLAN - LEVEL 2
Scale: 3/32" = 1'-0"

BUILDING FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD (UNO).
2. SEE ENLARGED UNIT & STAIR PLANS FOR DETAILED INFORMATION NOT SHOWN.
3. ◤ INDICATES REFERENCE POINT FOR UNIT ORIENTATION & DIMENSIONAL LAYOUT.
4. SEE BUILDING ELEVATIONS FOR EXTERIOR FINISH MATERIALS.
5. SEE FRAMING ELEVATIONS & SECTIONS FOR WALL HEIGHTS, FLOOR-TO-FLOOR HEIGHTS, PARAPET HEIGHTS, ETC.
6. FINISH SPECIFICATIONS ARE BY OWNER / GC.
7. SEE ENLARGED UNIT PLANS FOR FLOOR FINISH & ASSEMBLIES INSIDE UNITS.
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10. ● INDICATES CLASS I STANDPIPE INSTALLED PER IBC SECTION 905 & NFPA 14. SEE SPRINKLER DESIGN DRAWINGS FOR MORE INFORMATION.
11. COMMON WALLS NOT SHOWN IN ENLARGED PLANS ARE 2x4 (UNO). STUDS TO BE SPACED @ 16" OC (SPF STUD). PLATES TO BE #2 (TREATED @ CONCRETE).
12. FLOORING OVER CONCRETE OR 1" GYP-CRETE IN COMMON AREAS TO BE SPECIFIED BY OWNER / GC.
13. SEE G0.1 FOR GENERAL NOTES.

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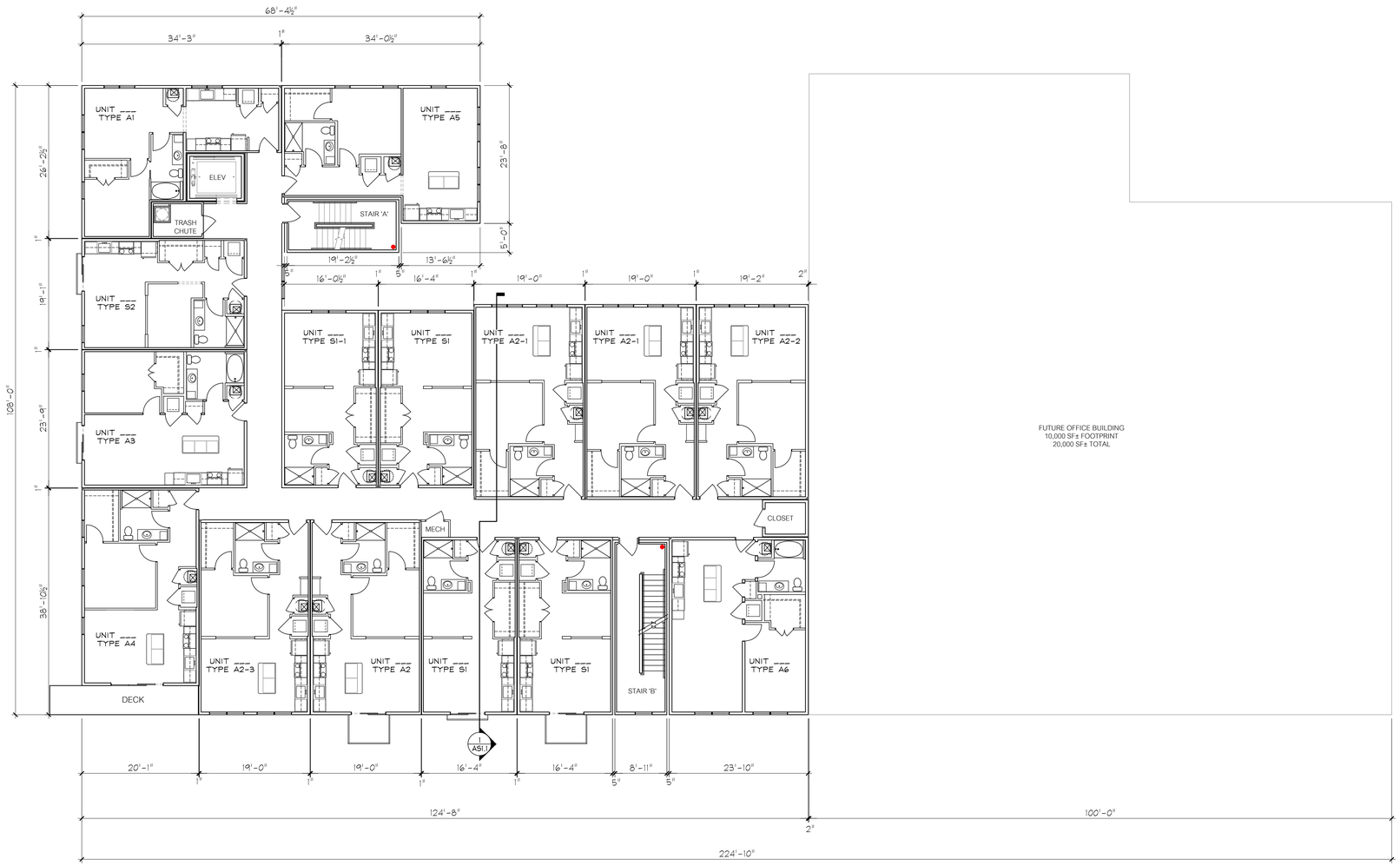
CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
FLOOR PLAN - LEVEL 2

PROJECT # 850
DRAWING NUMBER A1.2
DATE 02/22/19
DESIGN DEVELOPMENT



FLOOR PLAN - LEVEL 3

Scale: 3/32" = 1'-0"

BUILDING FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD (UNO).
2. SEE ENLARGED UNIT & STAIR PLANS FOR DETAILED INFORMATION NOT SHOWN.
3. ◤ INDICATES REFERENCE POINT FOR UNIT ORIENTATION & DIMENSIONAL LAYOUT.
4. SEE BUILDING ELEVATIONS FOR EXTERIOR FINISH MATERIALS.
5. SEE FRAMING ELEVATIONS & SECTIONS FOR WALL HEIGHTS, FLOOR-TO-FLOOR HEIGHTS, PARAPET HEIGHTS, ETC.
6. FINISH SPECIFICATIONS ARE BY OWNER / GC.
7. SEE ENLARGED UNIT PLANS FOR FLOOR FINISH & ASSEMBLIES INSIDE UNITS.
8. 8'-1" AFF INDICATES CEILING HEIGHT FROM TOP OF SLAB OR GYP-CRETE TO BOTTOM OF GYPSUM CEILING.
9. SEE G SHEETS (FIRE PROTECTION) FOR FIRE RATED WALLS AND OPENINGS.
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12. FLOORING OVER CONCRETE OR 1" GYP-CRETE IN COMMON AREAS TO BE SPECIFIED BY OWNER / GC.
13. SEE G0.1 FOR GENERAL NOTES.

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

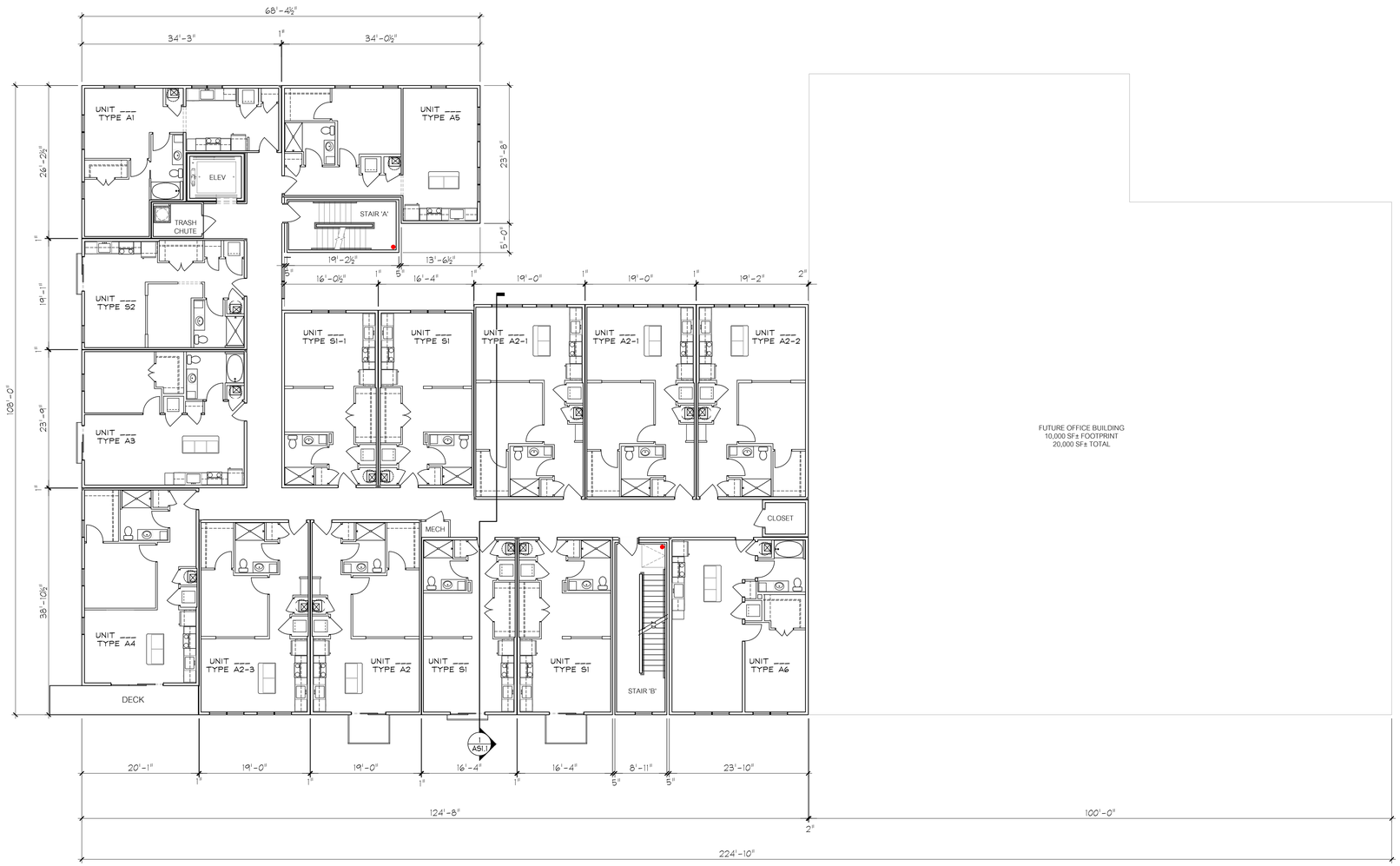
DRAWING TITLE
FLOOR PLAN - LEVEL 3

PROJECT # 850

DRAWING NUMBER A1.3

DATE 02/22/19

DESIGN DEVELOPMENT



FLOOR PLAN - LEVEL 4
Scale: 3/32" = 1'-0"

BUILDING FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD (UNO).
2. SEE ENLARGED UNIT & STAIR PLANS FOR DETAILED INFORMATION NOT SHOWN.
3. ◤ INDICATES REFERENCE POINT FOR UNIT ORIENTATION & DIMENSIONAL LAYOUT.
4. SEE BUILDING ELEVATIONS FOR EXTERIOR FINISH MATERIALS.
5. SEE FRAMING ELEVATIONS & SECTIONS FOR WALL HEIGHTS, FLOOR-TO-FLOOR HEIGHTS, PARAPET HEIGHTS, ETC.
6. FINISH SPECIFICATIONS ARE BY OWNER / GC.
7. SEE ENLARGED UNIT PLANS FOR FLOOR FINISH & ASSEMBLIES INSIDE UNITS.
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9. SEE G SHEETS (FIRE PROTECTION) FOR FIRE RATED WALLS AND OPENINGS.
10. ● INDICATES CLASS I STANDPIPE INSTALLED PER IBC SECTION 905 & NFPA 14. SEE SPRINKLER DESIGN DRAWINGS FOR MORE INFORMATION.
11. COMMON WALLS NOT SHOWN IN ENLARGED PLANS ARE 2x4 (UNO). STUDS TO BE SPACED @ 16" OC (SPF STUD). PLATES TO BE #2 (TREATED @ CONCRETE).
12. FLOORING OVER CONCRETE OR 1" GYP-CRETE IN COMMON AREAS TO BE SPECIFIED BY OWNER / GC.
13. SEE G0.1 FOR GENERAL NOTES.

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

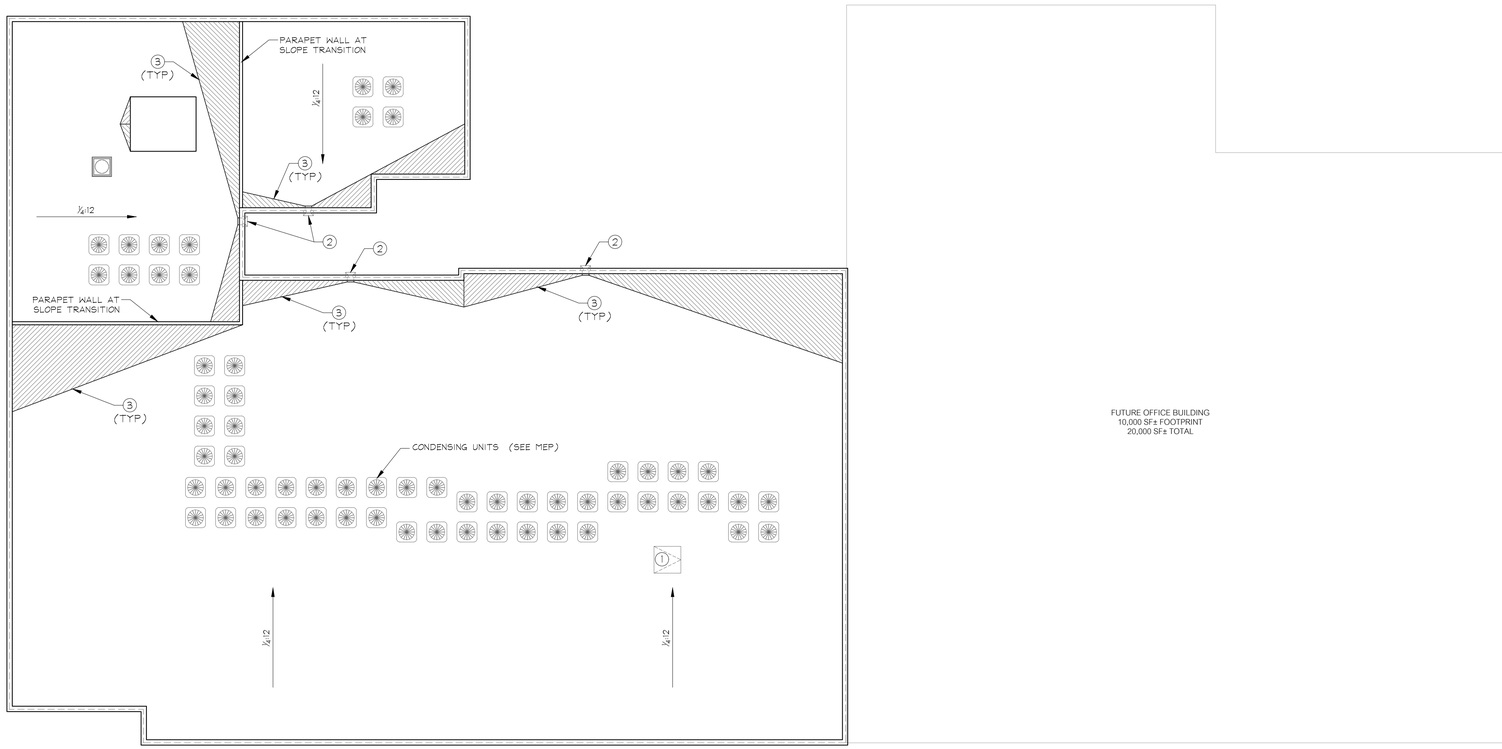
DRAWING TITLE
FLOOR PLAN - LEVEL 4

PROJECT # 850

DRAWING NUMBER A1.4

DATE 02/22/19

DESIGN DEVELOPMENT



ROOF PLAN

Scale: 3/32" = 1'-0"

ROOF PLAN NOTES:

1. ALL ROOFING IS FULLY ADHERED EPDM ROOF SYSTEM OVER RIGID INSULATION (UNO). ALL ROOFING SHALL CARRY A MANUFACTURER'S WARRANTY OF 20 YEARS. SEE BUILDING SECTIONS FOR INSULATION REQUIREMENTS.
2. INSTALL ALL ROOFING, FLASHING, CAPS, AND SEALANTS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
3. COORDINATE ALL ROOF PENETRATIONS WITH MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. PROVIDE AND INSTALL ALL FLASHING, CURBS, BLOCKING, AND OTHER RELATED ITEMS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS TO ACHIEVE A WATER-TIGHT INSTALLATION.
4. PROVIDE SECONDARY DRAINS (EMERGENCY OVERFLOW) ABOVE MAIN ROOF DRAINS. SEE DETAILS 11 & 15 / AS6.7. SUBCONTRACTOR TO SUBMIT PROPOSED DETAILS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
5. ALL MECHANICAL EQUIPMENT AND ROOF HATCH OPENINGS MUST BE PLACED 10'-0" FROM EDGE OF ROOF (MINIMUM).

KEY NOTES (ROOF PLAN):

1. 4'-0" x 4'-0" ROOF HATCH WITH BUILT-IN OPENING PROTECTION (MINIMUM 16 SQUARE FEET PER IBC 1009.16.1, EXCEPTION)
2. 1'-0" x 6" OPENING FOR SCUPPER TO 4" x 5" DOWNSPOUT (SEE 11 & 15 / AS4.2)
3. TAPERED INSULATION BOARD (CRICKETS)

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
ROOF PLAN

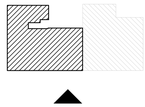
PROJECT # 850

DATE 02/22/19

DRAWING NUMBER A1.5

DESIGN DEVELOPMENT

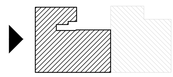
Bldg	Elevation	Brick (B1&B2)			Metal Panel (S1&S2)			Fiber Cement Plank Siding (S3)		
		Area	Openings	Actual	Area	Openings	Actual	Area	Openings	Actual
1	West	5,127	1,407	3,720	627	221	406	-	-	-



RENDERED ELEVATION - WEST

Scale: 3/32" = 1'-0"

Bldg	Elevation	Brick (B1&B2)			Metal Panel (S1&S2)			Fiber Cement Plank Siding (S3)		
		Area	Openings	Actual	Area	Openings	Actual	Area	Openings	Actual
1	North	1,840	459	1,381	3,338	723	2,615	-	-	-



RENDERED ELEVATION - NORTH

Scale: 3/32" = 1'-0"

ELEVATION NOTES:

1. REFER TO SHEET 2.4 FOR MATERIAL KEYNOTE DESCRIPTIONS.

04/11/19 CULTURAL RESOURCES SUBMITTAL (NOT FOR CONSTRUCTION)

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO.	REVISIONS	DATE

DRAWING TITLE: RENDERED ELEVATIONS

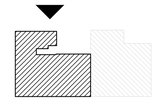
PROJECT #: 850

DATE: 04/11/19

DRAWING NUMBER: A2.1

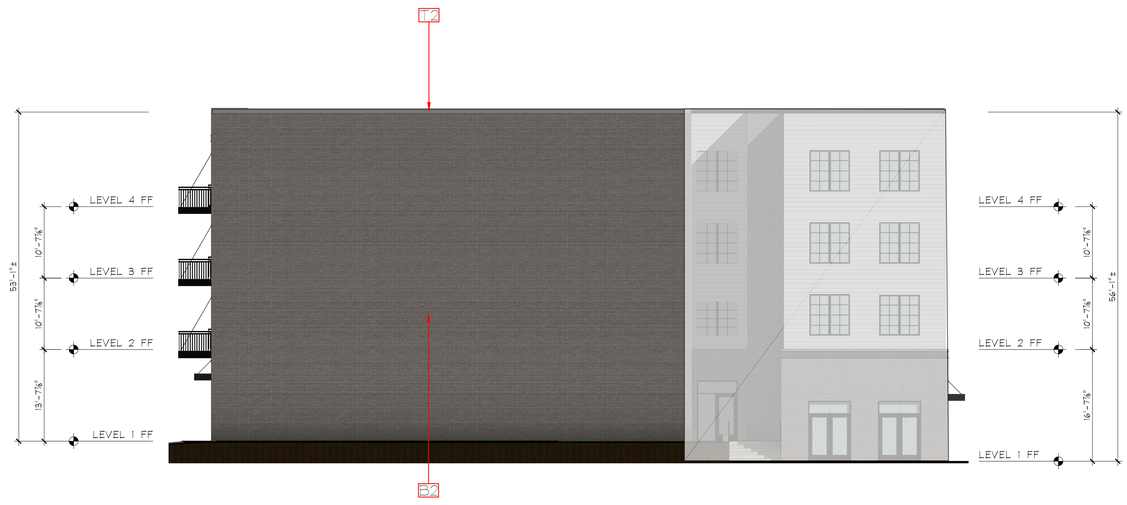
DESIGN DEVELOPMENT

Bldg	Elevation	Brick (B1&B2)			Metal Panel (S1&S2)			Fiber Cement Plank Siding (S3)		
		Area	Openings	Actual	Area	Openings	Actual	Area	Openings	Actual
1	East	1,109	212	897	515	95	420	1,929	214	1,715



RENDERED ELEVATION - EAST
Scale: 3/32" = 1'-0"

Bldg	Elevation	Brick (B1&B2)			Metal Panel (S1&S2)			Fiber Cement Plank Siding (S3)		
		Area	Openings	Actual	Area	Openings	Actual	Area	Openings	Actual
1	South	3,579	-	3,579	-	-	-	-	-	-



RENDERED ELEVATION - SOUTH
Scale: 3/32" = 1'-0"

ELEVATION NOTES:

1. REFER TO SHEET 2.4 FOR MATERIAL KEYNOTE DESCRIPTIONS.

04/11/19 CULTURAL RESOURCES SUBMITTAL (NOT FOR CONSTRUCTION)

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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

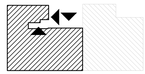
ST. LOUIS, MO

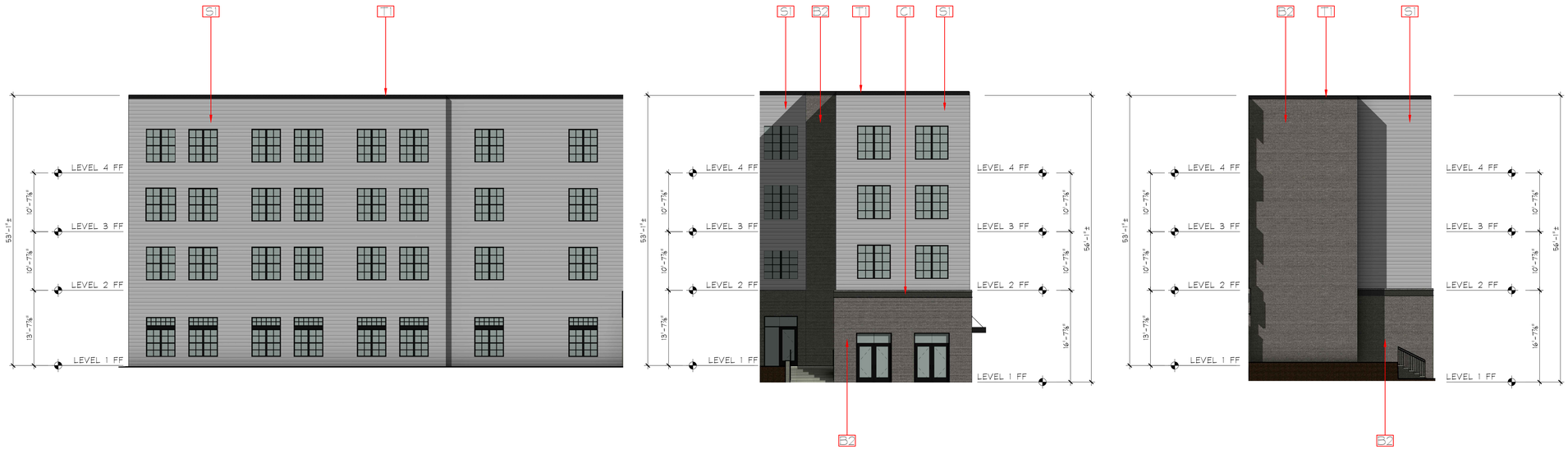
NO.	REVISIONS	DATE

DRAWING TITLE
RENDERED ELEVATIONS

PROJECT # 850
DRAWING NUMBER A2.2
DATE 04/11/19
DESIGN DEVELOPMENT

Bldg	Elevation	Brick (B1&B2)			Metal Panel (S1&S2)			Fiber Cement Plank Siding (S3)		
		Area	Openings	Actual	Area	Openings	Actual	Area	Openings	Actual
1	East Courtyard	-	-	-	-	-	-	4,484	1,069	3,415
1	North Courtyard	777	168	609	-	-	-	1,197	322	875
1	West Courtyard	1,229	-	1,229			-	480	-	480





RENDERED ELEVATION - COURTYARD

Scale: 3/32" = 1'-0"

ELEVATION NOTES:

1. REFER TO SHEET 2.4 FOR MATERIAL KEYNOTE DESCRIPTIONS.

04/11/19 CULTURAL RESOURCES SUBMITTAL (NOT FOR CONSTRUCTION)

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CHROMA II
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(CONCEPT 2.3)

ST. LOUIS, MO

NO.	REVISIONS	DATE

DRAWING TITLE
RENDERED ELEVATIONS

PROJECT # 850

DATE 04/11/19

DRAWING NUMBER
A2.3
DESIGN DEVELOPMENT

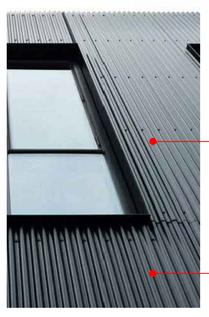
PROPOSED MATERIALS & COLORS

SW 6258
Tricorn Black
Interior / Exterior
Locator Number: 251-C1

PARAPET CAP, BALCONY RAILS, AWNINGS, & STEEL CHANNEL PAINTED STEEL OR ALUM. | C1 | T1

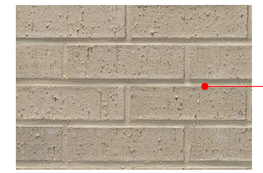
SW 7023
Requisite Gray
Interior / Exterior
Locator Number: 241-C2

HARDIEPLANK FIBER CEMENT LAP SIDING & PARAPET CAP | S1 | T2

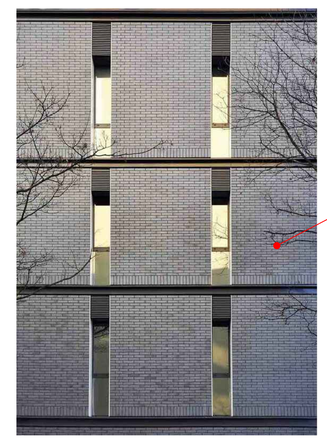


CORRUGATED METAL PANEL AND TRIM EQUAL TO MBCI- SLATE GRAY | M1

CORRUGATED METAL PANEL AND TRIM EQUAL TO MBCI- CHARCOAL GRAY | M2



ACME KING BRICK(167)-STEELE GRAY VELOUR W/ SPEC MIX SM750 (SILVERSTONE) MORTAR | B1



ACME KING BRICK(166)-MARBLE GRAY VELOUR W/ SPEC MIX SM750 (SILVERSTONE) MORTAR | B2

ACME KING BRICK(167)-SLATE GRAY VELOUR W/ SPEC MIX SM750 (SILVERSTONE) MORTAR | B3

WINDOWS & STOREFRONTS
DARK BRONZE OR BLACK ALUM. STOREFRONT OR VINYL DIVIDED LIGHT WINDOWS

*ALL FINISHES SUBJECT TO MOCK UP WALL APPROVAL BY OWNER AND GOVERNMENT JURISDICTION.

04/11/19 CULTURAL RESOURCES SUBMITTAL (NOT FOR CONSTRUCTION)

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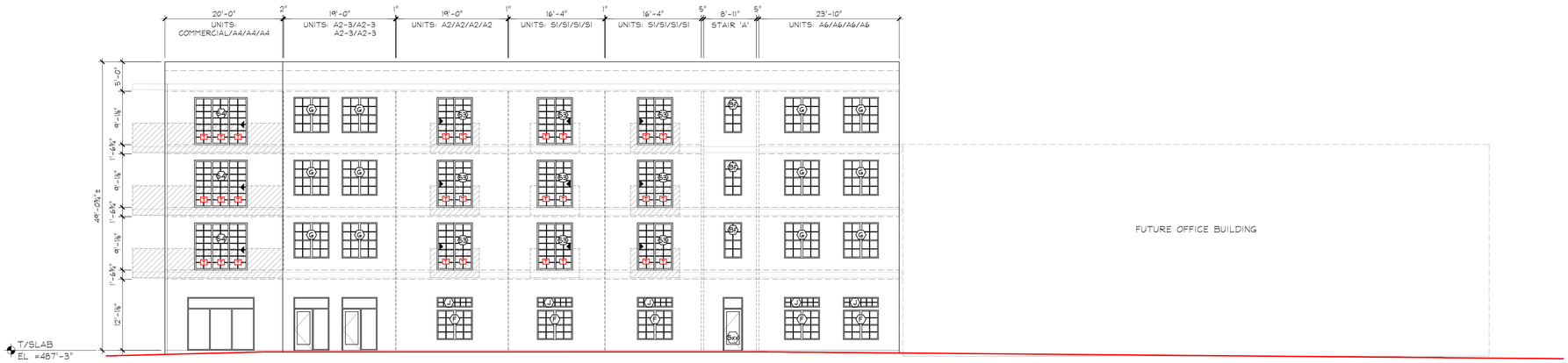
CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

DRAWING TITLE
RENDERED ELEVATIONS

PROJECT # 850
DATE 04/11/19
DRAWING NUMBER A2.4
DESIGN DEVELOPMENT



FRAMING ELEVATION - WEST

Scale: 3/32" = 1'-0"

FRAMING ELEVATION - NORTH

Scale: 3/32" = 1'-0"

FRAMING ELEVATION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, TOP OF SUB-FLOOR, OR TOP OF PARAPET (UNO).
2. INDICATES GRADE LINE, SHOWN FOR CONCEPT ONLY. REFER TO CIVIL FOR ACTUAL GRADE ELEVATIONS.
3. (#) INDICATES DOOR OR WINDOW TYPE. SEE G5.1-G5.2 FOR SCHEDULES.
4. INDICATES OPERABLE PANE AT SLIDING DOORS .
5. (T) INDICATES TEMPERED GLASS (SAFETY GLAZING) REQUIRED PER IBC 2406.4. SEE G5.3 FOR TEMPERED GLAZING AT STOREFRONTS.
6. INDICATES JULIET RAIL (SEE PLANS).
7. INDICATES STEEL BALCONY (SEE PLANS).

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MO CERTIFICATE OF AUTHORITY #2013004334 (ARCHITECTURE)

CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

NO	REVISIONS	DATE

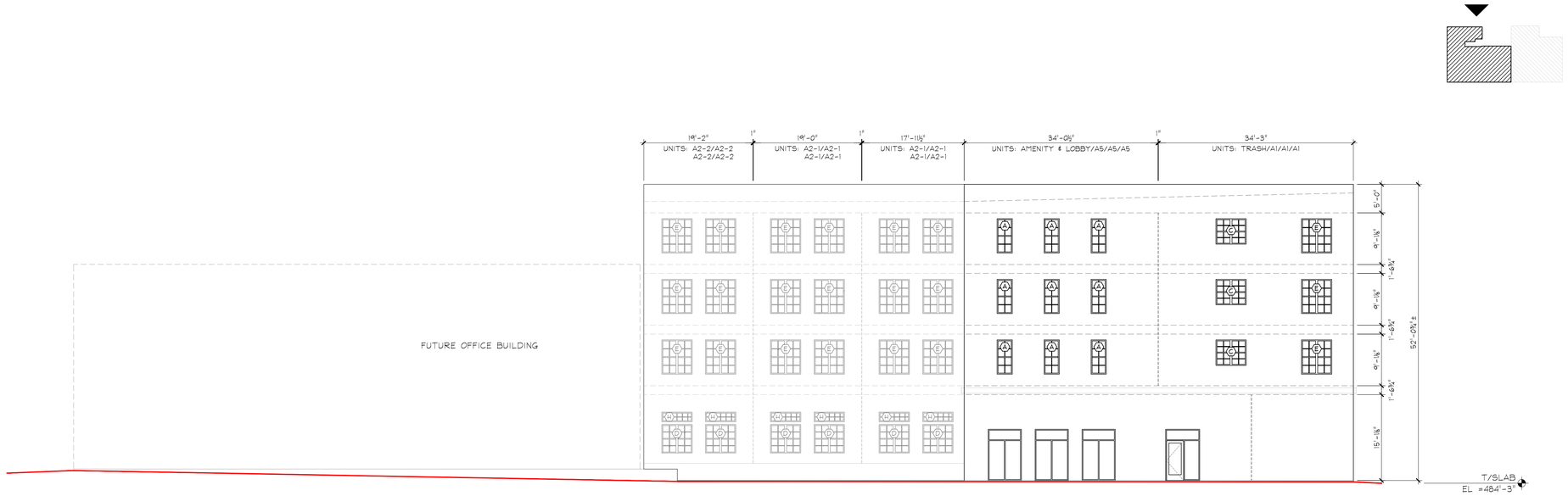
DRAWING TITLE
FRAMING ELEVATIONS

PROJECT # 850

DATE 02/22/19

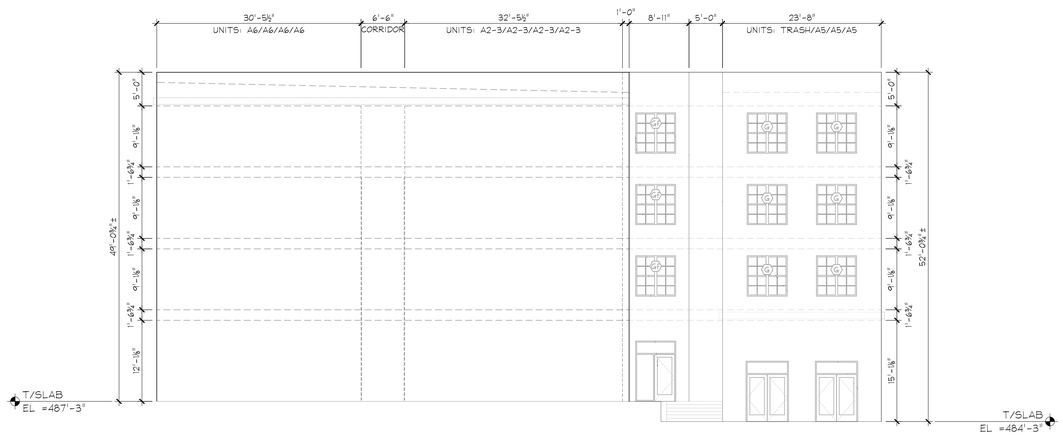
DRAWING NUMBER A3.1

DESIGN DEVELOPMENT



FRAMING ELEVATION - EAST

Scale: 3/32" = 1'-0"



FRAMING ELEVATION - SOUTH

Scale: 3/32" = 1'-0"

FRAMING ELEVATION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, TOP OF SUB-FLOOR, OR TOP OF PARAPET (UNO).
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ST. LOUIS, MO

NO	REVISIONS	DATE

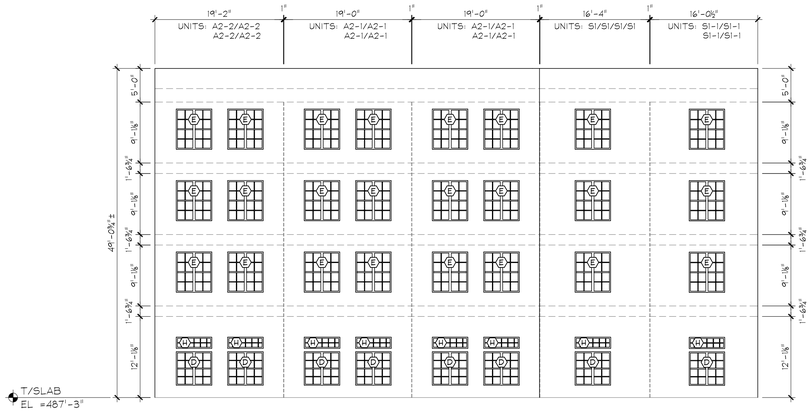
DRAWING TITLE
FRAMING ELEVATIONS

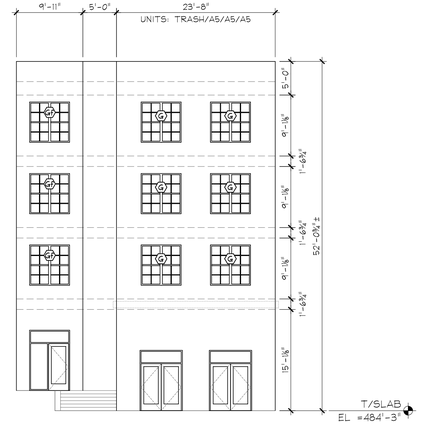
PROJECT # 850

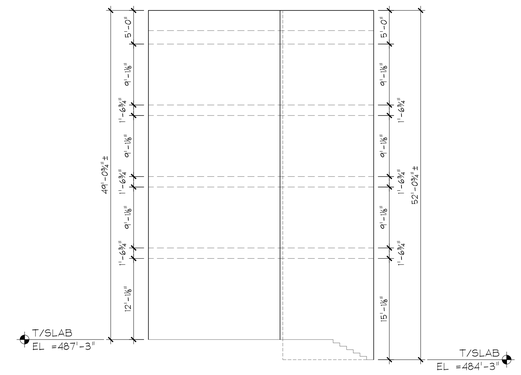
DATE 02/22/19

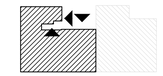
DRAWING NUMBER A3.2

DESIGN DEVELOPMENT









FRAMING ELEVATION - COURTYARD

Scale: 3/32" = 1'-0"

FRAMING ELEVATION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, TOP OF SUB-FLOOR, OR TOP OF PARAPET (UNO).
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CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

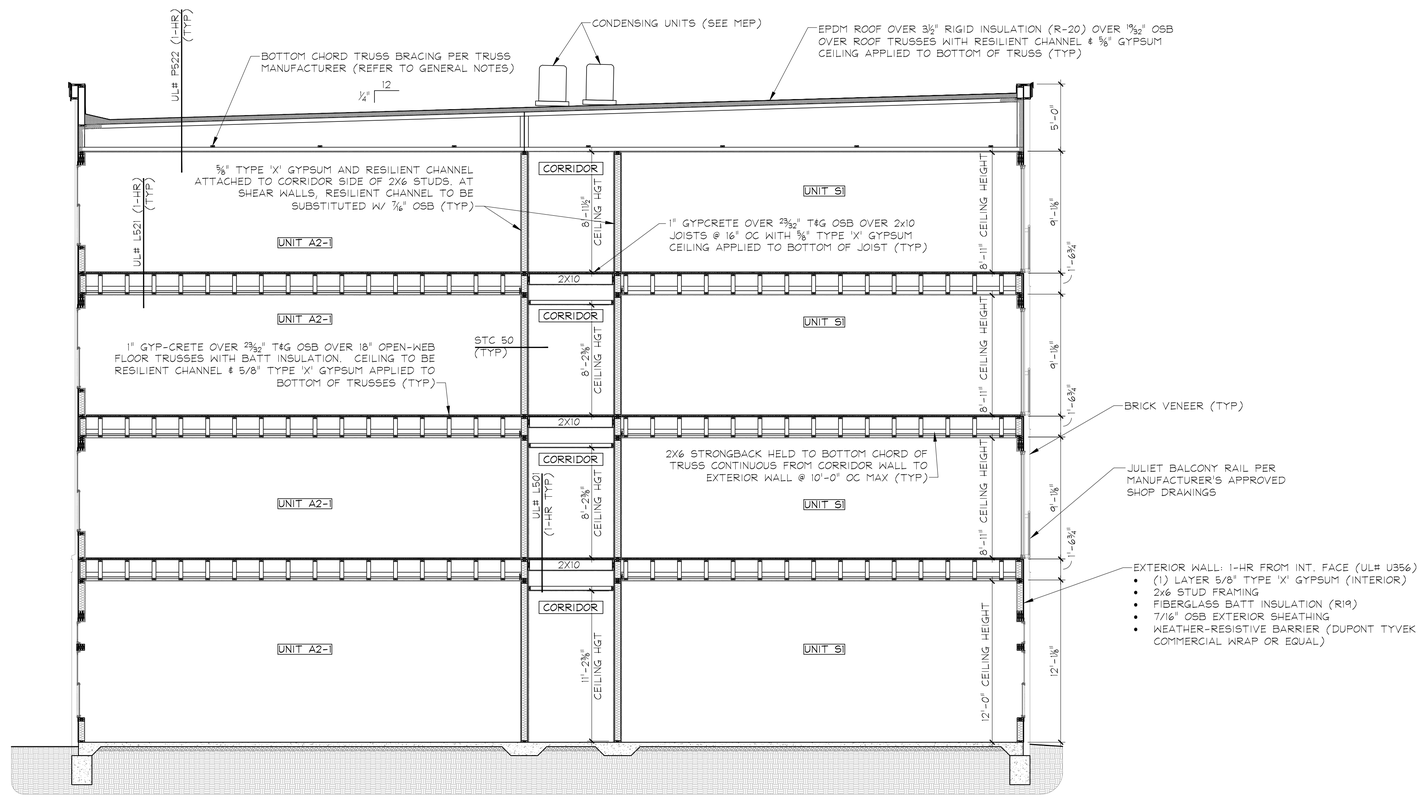
NO	REVISIONS	DATE

DRAWING TITLE
FRAMING ELEVATIONS

PROJECT # 850

DATE 02/22/19

DRAWING NUMBER
A3.3
DESIGN DEVELOPMENT



1 AS1.1 BUILDING SECTION
Scale: 3/16" = 1'-0"

BUILDING SECTION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD (UNO).
2. SEE 'CODE REVIEW - FIRE PROTECTION' SHEETS FOR REQUIRED RATINGS AT ALL VERTICAL FIRE ASSEMBLIES (RATED WALLS) AND AS1.1-AS2.4 FOR RATINGS AT ALL HORIZONTAL FIRE ASSEMBLIES (FLOORS & ROOFS).
3. SEE ENLARGED UNIT PLANS (U1.1-U1.12) FOR FLOOR COVERINGS, STC/IIC RATINGS, STUD SPACING & WALL INSULATION (UNO).
4. WATER-RESISTIVE BARRIER SYSTEM TO BE TYVEK OR APPROVED EQUAL AND SHALL MEET IBC 2009-SECTION 1403.2.
5. SEALANT & FLASHING SYSTEMS TO BE SELECTED BY CONTRACTOR & INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
6. BUILDING ENVELOPE SHALL COMPLY WITH 2009 IECC. APPLICABLE REQUIREMENTS FOR THIS BUILDING ARE SHOWN BELOW.

6.1.	ROOF:	R-20 CONTINUOUS
6.2.	EXTERIOR WALLS:	R-19
6.3.	WINDOWS:	U=0.32

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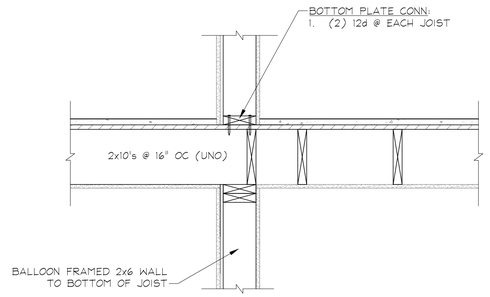
CHROMA II
MIXED-USE DEVELOPMENT
(CONCEPT 2.3)

ST. LOUIS, MO

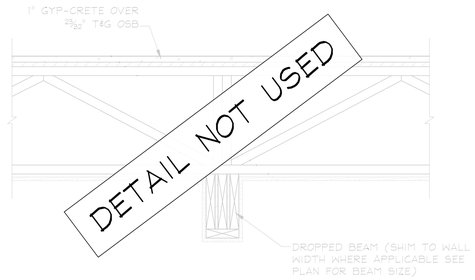
NO	REVISIONS	DATE

DRAWING TITLE
BUILDING SECTIONS

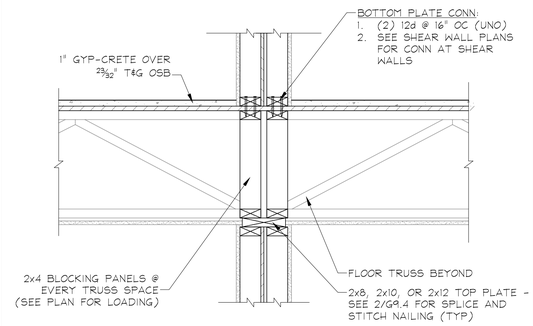
PROJECT # 850
DATE 02/22/19
DRAWING NUMBER AS1.1
DESIGN DEVELOPMENT



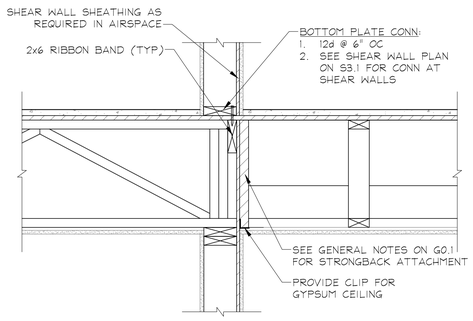
12 AS4.1 CORRIDOR WALL FRAMING ON JOISTS
Scale: 1" = 1'-0"



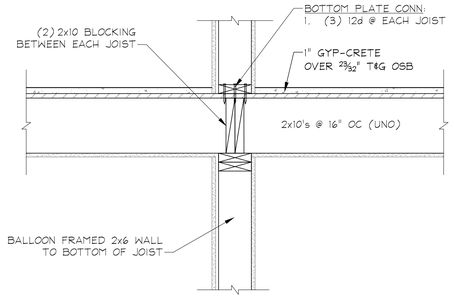
8 AS4.1 TRUSS BEARING @ INTERIOR BEAM
Scale: 1" = 1'-0"



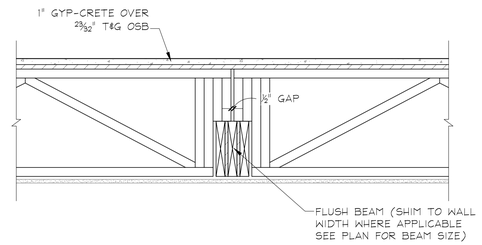
4 AS4.1 TRUSS BEARING @ 45° ANGLE WALL
Scale: 1" = 1'-0"



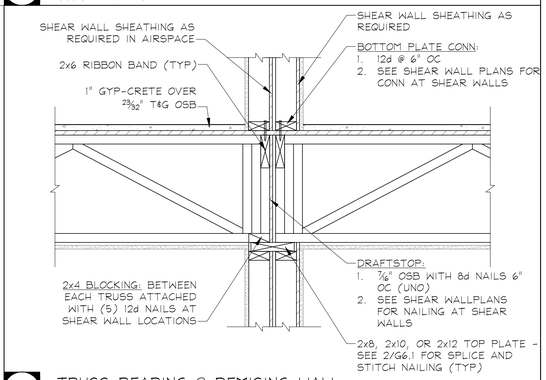
15 AS4.1 TRUSS BEARING @ INTERIOR COORIDOR WALL
Scale: 1" = 1'-0"



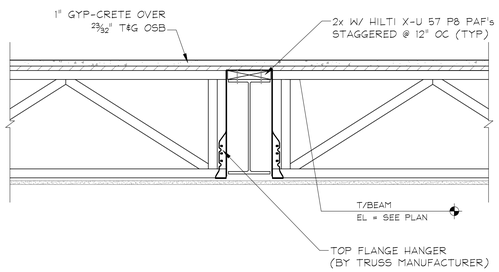
11 AS4.1 ENCLOSED CORRIDOR FRAMING
Scale: 1" = 1'-0"



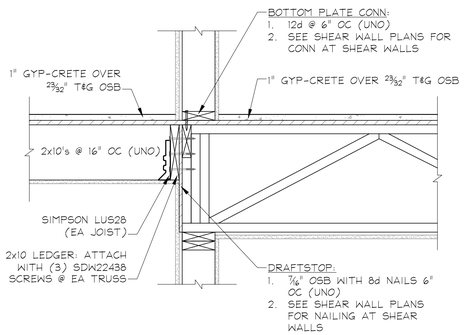
7 AS4.1 TRUSS BEARING @ INTERIOR BEAM
Scale: 1" = 1'-0"



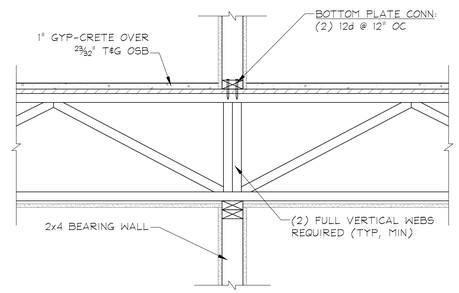
3 AS4.1 TRUSS BEARING @ DEMISING WALL
Scale: 1" = 1'-0"



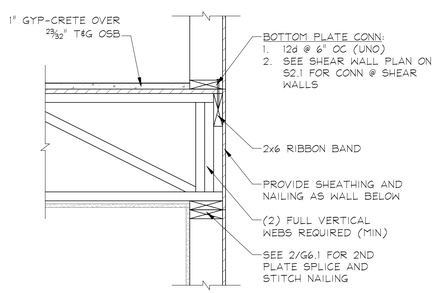
14 AS4.1 FLOOR TRUSS/WIDE FLANGE BEAM CONN
Scale: 1" = 1'-0"



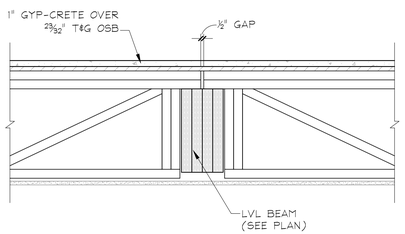
10 AS4.1 ENCLOSED CORRIDOR FRAMING @ TRUSS BEARING
Scale: 1" = 1'-0"



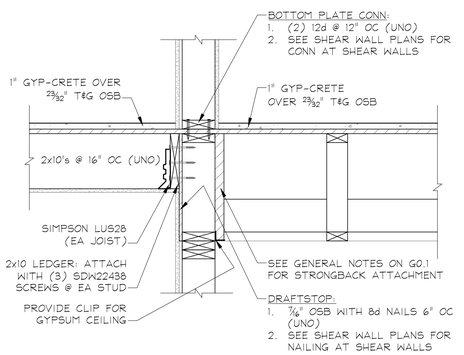
6 AS4.1 TRUSS BEARING @ 2x4 INTERIOR WALL
Scale: 1" = 1'-0"



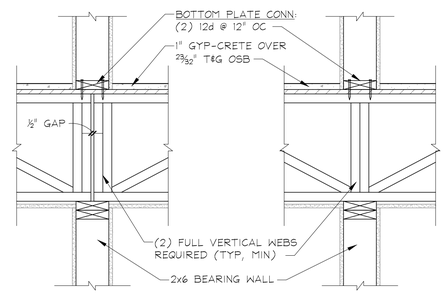
2 AS4.1 TRUSS BEARING @ EXTERIOR WALL
Scale: 1" = 1'-0"



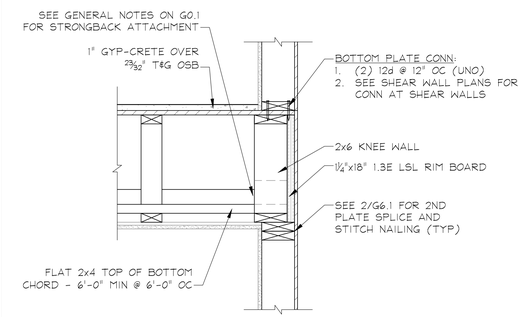
13 AS4.1 TRUSS BEARING @ LVL BEAM
Scale: 1" = 1'-0"



9 AS4.1 ENCLOSED CORRIDOR FRAMING
Scale: 1" = 1'-0"



5 AS4.1 TRUSS BEARING @ 2x6 INTERIOR WALL
Scale: 1" = 1'-0"



1 AS4.1 EXTERIOR WALL @ PARALLEL TRUSS
Scale: 1" = 1'-0"

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DRAWING TITLE
FRAMING DETAILS

PROJECT # 850
DATE 02/22/19
DRAWING NUMBER AS4.1
DESIGN DEVELOPMENT