



**FOREST PARK SOUTHEAST
DEVELOPMENT COMMITTEE**

February 25, 2020

5:30 P.M.

MEETING AGENDA

- 1. Introductions5 Minutes**
- 2. Minutes from January 25, 20202 Minutes**
- 3. 1417-33 Tower Grove: Community Letter of Support and request for Variances**
 - Staff Presentation5 Minutes
 - Developer Presentation10 Minutes
 - Public Comments.....5 Minutes
 - Committee Comments.....5 Minutes
- 4. 4440 Manchester: Parking Update**
 - Developer Presentation15 Minutes
 - Public Comments.....5 Minutes
 - Committee Comments.....5 Minutes
- 5. Public Comments:**
- 6. Closed Session15 Minutes**



FPSE Development Committee Meeting Minutes
January 28, 2020 at 5:30 pm
at 4512 Manchester, St. Louis, MO 63110

Committee members in attendance: John Boldt, Brian Phillips, Tom Ernst, Mark Mangapora, Patrick Brown, Meredith Jones

Committee members not present: David Wolfe, Kasan Moorehead, Guy Slay, Patrice Willis, Sharon Blaine

Staff in attendance: Abdul Abdullah, Annette Pendilton,

Others in attendance: Ron Coleman, Sarah Mangapora, Keara Anderson, Kevin Brennan, Tom O'Conner, Shaun Bailey, Alicia Early, Susan Rooker

1. Call to Order:

J. Boldt called the meeting to order at 5:44 pm.

2. Minutes from September 24, 2019

B. Phillips motioned to approve minutes for September 24, 2019 with amendments. P. Brown seconded. Motion passes – 6-0-0

3. 4300 Gibson: Request for community support and Variances

A. Abdullah read the proposal to the board. Copy of the report can be requested with Park Central Development staff.

Park Central Development recommends support of the project with the following conditions:

1. Any additional changes in the specified use, or any additional changes to the project requiring a variance, should be brought before the FPSE Development Committee for review.
2. Enter into Parking Agreements with a Property owner with parking lots for use by the developer.
3. Integrate External Cameras into the FPSE Camera Network and work with NSI to determine external camera locations.
4. Sign the Grove Good Neighbor Agreement

Presenter: Kevin Brennan and Tim O'Conner

4. Ronald McDonald House: Update of Site Plans and Renderings

Presenters: Shaun Bailey, Alicia Early, Susan Rooker

5. Other:

John Boldt discussed a meeting that he, Abdul Abdullah and Alderman Roddy had with the Forest Park Southeast Neighborhood Association and they proposed some changes to Ald. Roddy for the FPSE Dev Committee:

- For developers to make their plans more transparent to the FPSENA
- The minutes for the FPSE Dev Committee reflect any conflicts of interest to/from committee members during deliberations or vote.

Currently in the minutes when a board member recuses themselves from a vote they are included in the minutes. Maybe in addition to the minutes if the member states why, it will also be recorded.

- FPSENA would like the FPSE Dev Committee to consider making the vote and deliberations open to the public.

The committee views:

- 1) Making the close session open to the public will cause for the public commenting during board deliberations may cause issues.
- 2) Having it open to the public; the developers will have the option to stay and make comments.
- 3) Committee will not be able to talk candidly and freely during deliberations and voting
- 4) Committee suggested to have a member from the FPSENA a seat on the FPSE Dev Committee

Abdul Abdullah announced that a medical marijuana license has been approved in the neighborhood.

6. Closed Session

4300 Gibson – Request for community support and variances

B. Phillips motioned to support and Conditional Use with the following conditions:

1. Any additional changes in the specified use, or any additional changes to the project requiring a variance, should be brought before the FPSE Development Committee for review.
2. Enter into Parking Agreements with a Property owner with parking lots for use by the developer.
3. Integrate External Cameras into the FPSE Camera Network and work with NSI to determine external camera locations.
4. Sign the Grove Good Neighbor Agreement.

P. Brown second. Motion passes – 6-0-0

5. Meeting adjourned at 6:57 pm.

Forest Park Southeast Development Committee

February 25 , 2020

Park Central Development
Conference Room

4512 Manchester, Suite 100

5:30 PM

An architectural rendering of a two-story brick building with a series of large, multi-paned windows on the ground floor. The building has a classic, slightly industrial aesthetic with a flat roof and decorative brickwork. In the foreground, a sidewalk runs along the building, with several people walking, including a person pushing a stroller. A red car is parked on the street in front of the building. Other cars are visible further down the street. The scene is set in a neighborhood with trees and a clear sky.

1417-33 Tower Grove

Community Letter of Support for the project

Property Owner: 1417-33 Tower Grove LLC

Contact Person(s): Leslie Johnson, Jarrad Holst

Mailing Address: 2021 Rutger St., St. Louis, MO 63104

Owners: Leslie Johnson, Jarrad Holst, Scott Jantho, Todd Patrick

Relevant Experience: This group has extensive experience in full-scale renovations including gut renovation of over 70 projects in the city of St. Louis. In addition, they own and manage over 200 rental units in St. Louis City and County

History of Site: The Building was constructed in 1915. The property was originally owned by Charles T. Heil. The architect/contractor was George P. Zeller. Businesses in the building have included in 1921 a billiards hall, dry goods store, Kroger Grocery & Baking Co. , newspaper business – possibly a and tavern.

Project
Description

Project Information

Costs

- Acquisition: \$495,000
- Pre-development Soft Cost: \$24,197
- Construction Cost: \$1,037,245
- Total: \$1,556,442
- Financial incentives: Tax abatement of 75% for 5 years

Timeline

- Site Control: Aug 2019
- Construction Start: March 2020
- Construction Complete: December 2020
- Occupancy: January 2021

Project Information

- The project calls for a complete renovation of the building, including a new roof, windows, tuckpointing, complete replacement of systems including plumbing, electrical and HVAC, replacement of all interior finishes, and replacement of dilapidated rear patios. The project proposes to transform the vacant, eyesore building into ten market-rate apartments. Finishes used on the outside of the building will, to the extent possible, resemble the storefront spaces that once existed on ground level. The storefront windows pay homage to the commercial businesses that occupied the property beginning in the 1920s. This project will maintain these elements and will restore the original look and feel of the site.
- Inside the building, the units will feature modern amenities including large eat-in kitchens, granite countertops, stainless appliances, wood floors and in-unit washers and dryers.

Committee Request:

Request is for community support of the rehab project and proposed tax abatement proposed by SLDC.



1417-14333 Tower Grove Ave. View



1417-14333 Tower Grove Front View

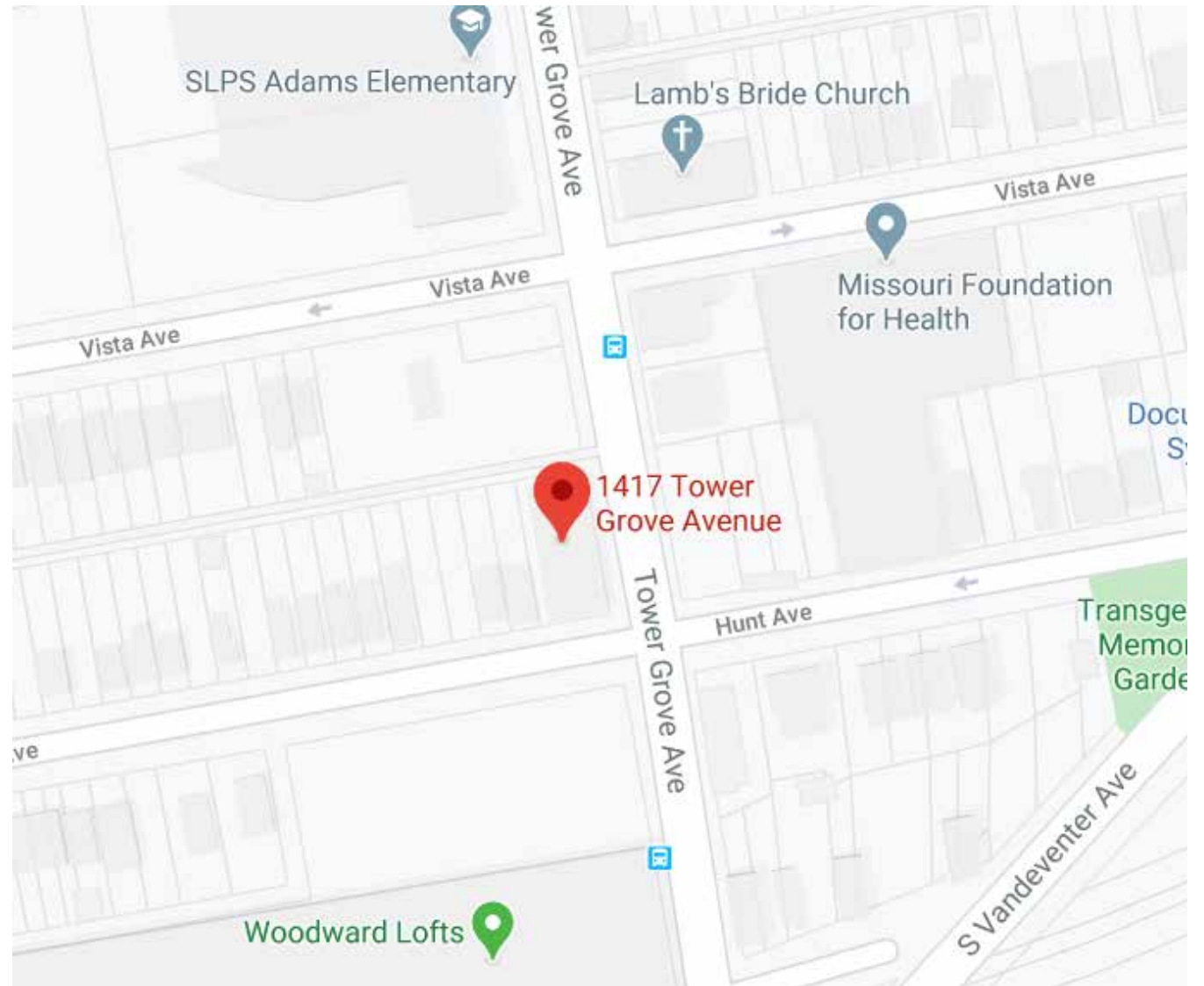


1417-14333 Tower Grove Ariel View



1417-14333 Tower Grove Ariel View

Map View



- Support for the owner's request for community support with the following conditions:
- Any additional changes in the specified use, or any additional changes to the project requiring a variance should be brought before the FPSE Development Committee for review.
- Integrate External Cameras into the FPSE Camera Network and work with the NSI to determine external camera locations

Park Central Recommendation

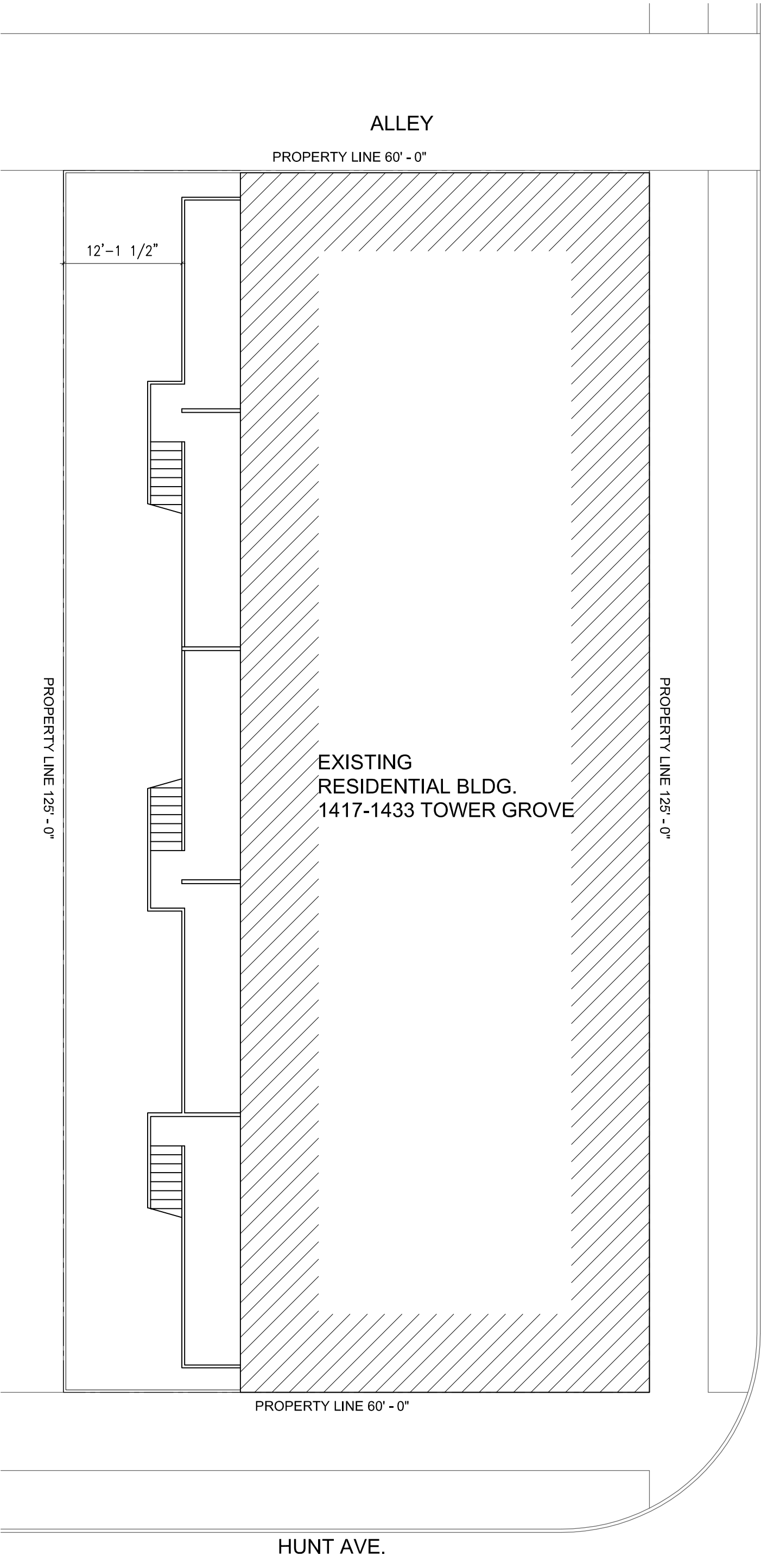


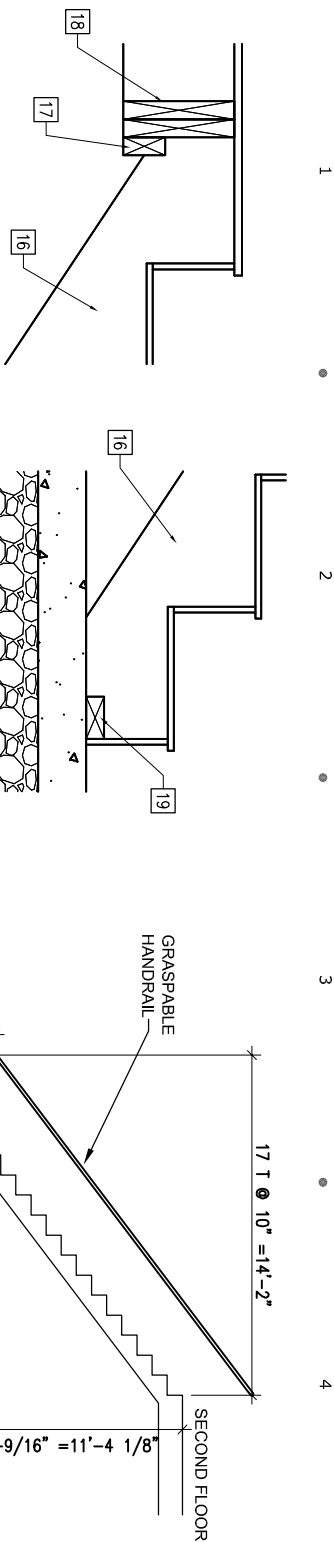










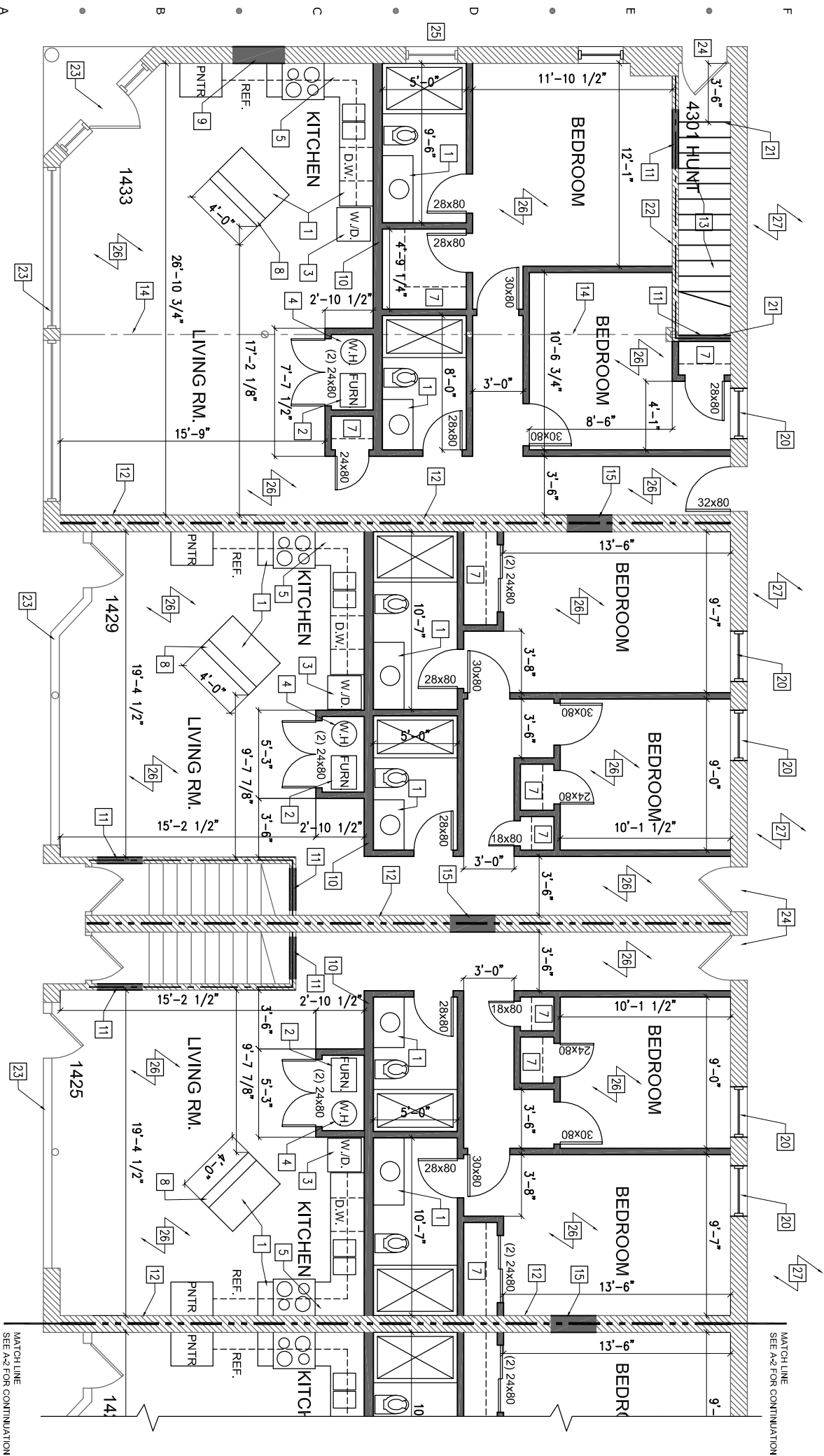


H1 STAIR DETAIL
A-1 SCALE: 3/4" = 1'-0"

H2 STAIR DETAIL
A-1 SCALE: 3/4" = 1'-0"

G3 STAIR SECTION
A-1 SCALE: 1/4" = 1'-0"

NOTE:
60 MINUTE FIRE SEPARATION ASSEMBLY IS REQUIRED IN THE FLOOR ASSEMBLY BETWEEN UNITS ON THE FIRST FLOOR AND SECOND FLOOR. CONTRACTOR MUST INSTALL THROUGHOUT THE ENTIRE BUILDING THE FOLLOWING:
(1) LAYER OF 5/8" TYPE 'X' DRYWALL ON RESILIENT CHANNELS ON THE BOTTOM OF THE EXISTING SECOND FLOOR WOOD JOISTS. SECOND FLOOR TO HAVE 3/4" WOOD SUBFLOOR THROUGHOUT FOR A CONTINUOUS 1 HOUR FLOOR/CEILING ASSEMBLY.
UL # LS98



A1 NEW PARTIAL FIRST FLOOR PLAN
A-1 SCALE: 3/16" = 1'-0"

KEYED NOTES

- NEW BASE CABINETS AND COUNTERTOPS AS SELECTED BY OWNER
- NEW FURNACE, FINAL LOCATION AND DESIGN BY MECHANICAL DESIGN/BUILD CONTRACTOR
- VENT DRIER TO EXTERIOR. VENT RUN NOT TO EXCEED 25'-0" FOR A STRAIGHT RUN. SUBTRACT 5'-0" FOR EVERY ELBOW TURN. VENT TO EXIT RESIDENCE EITHER THRU THE REAR OF HOUSE OR 1/2 WAY BACK OR FURTHER THRU THE SIDE WALL.
- NEW WATER HEATER BY PLUMBING CONTRACTOR
- NEW WALL CABINETS AS SELECTED BY OWNER
- EXISTING STAIR TO REMAIN
- NEW SHELIVING, AS SELECTED BY OWNER
- BAR HEIGHT COUNTER AT 48" a.f.f. WITH 2x4 SUPPORT WALL UNDERNEATH
- INFILL EXISTING OPENING, SEE DETAIL ON SHEET D-1 EACH SIDE
- 2x6 STUD WALL, STUDS AT 16" o.c., 1/2" DRYWALL EACH SIDE
- 2x4 STUD WALL, STUDS AT 16" o.c., 5/8" TYPE 'X' DRYWALL EACH SIDE, FOR 1 HR. FIRE RATED ASSEMBLY UL # U386
- EXISTING MASONRY WALL TO REMAIN AS 2 HR. FIRE SEPARATION
- NEW STAIR, SEE DETAILS THIS SHEET
- EXISTING COLUMNS AND BEAMS TO REMAIN
- INFILL FIRE WALL OPENING, SEE DETAIL ON SHEET A-2
- (3) 2"x12" WOOD STRINGERS
- CONT. 2"x4" LEDGER
- 2X DOUBLE HEADER, MATCH EXISTING JOIST DEPTH
- 2"x4" THRUST BLOCK
- NEW VINYL WINDOW AS SELECTED BY OWNER, MAX. U-VALUE - 0.32 TYPICAL
- NEW 2x12 DOUBLER AT EACH END OF NEW STAIR OPENING ABOVE
- SISTER NEW 2x12 WOOD JOIST TO EXISTING 2x12 WOOD JOIST AT EDGE OF NEW STAIR OPENING ABOVE
- EXISTING STOREFRONT TO REMAIN AND BE RESTORED TO ORIGINAL DETAIL AND TRIM. ALL GLAZING TO BE REPLACED WITH NEW
- REPLACE EXISTING DOOR, AS SELECTED BY OWNER
- GLAZING TO BE FULLY TEMPERED SAFETY GLASS
- NEW FLOOR FINISHES, AS SELECTED BY OWNER, INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS
- NEW PAVER/CONCRETE PATIO, AS SELECTED AND DESIGNED BY OWNER

REVISIONS:		
NO.:	DATE:	REMARKS:

ILLINOIS:
P.O. Box 251
Goodfrey, IL,
62035

MISSOURI:
2604 Laclede Station Rd.,
St. Louis, MO.,
63143

PHONE: 618-946-5850



INTERIOR RENOVATIONS & NEW DECK
CLIENT: JEK SEP IRA FUND LLC
1417-1433 TOWER GROVE AVE.
ST. LOUIS, MO. 63110
DRAWING: NEW FIRST FLOOR PLANS

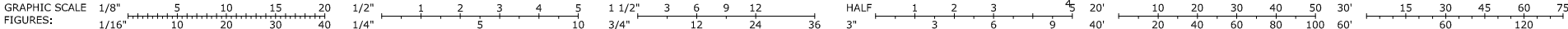
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11-25-19
GA PROJECT NUMBER:
19074
SHEET NUMBER:

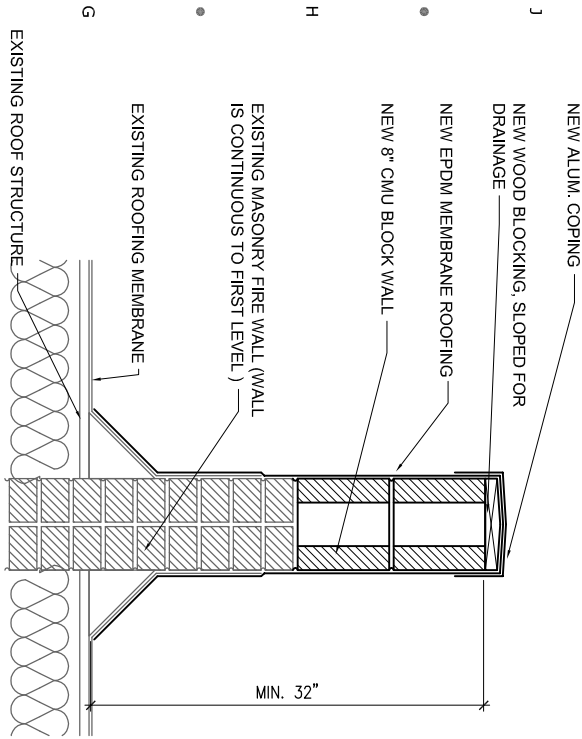
A-1

SIGNED:
JASON PLOUGH - ARCHITECT
LICENSE# A-2017019346
DATE:
EXPIRES: 12-31-19

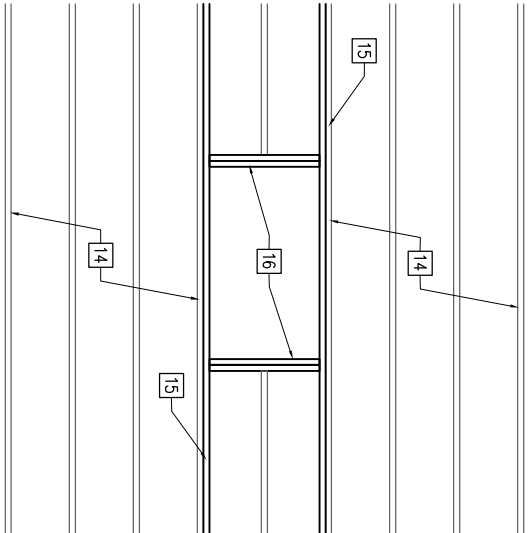
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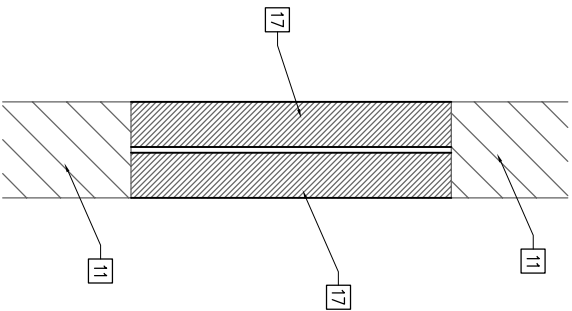




G1 ROOF FIRE WALL DETAIL
A-2 SCALE: 1'-1/2" = 1'-0"



G3 SKYLIGHT FRAMING DETAIL
A-2 SCALE: 1/4" = 1'-0"



G5 FIREWALL INFILL DETAIL
A-2 SCALE: 1/2" = 1'-0"

KEYED NOTES

- 1 NEW BASE CABINETS AND COUNTERTOPS AS SELECTED BY OWNER
- 2 NEW FURNACE, FINAL LOCATION AND DESIGN BY MECHANICAL DESIGN/BUILD CONTRACTOR
- 3 VENT DRYER TO EXTERIOR. VENT RUN NOT TO EXCEED 25'-0" FOR A STRAIGHT RUN. SUBTRACT 5'-0" FOR EVERY ELBOW TURN. VENT TO EXIT RESIDENCE EITHER THRU THE REAR OF HOUSE OR 1/2 WAY BACK OR FURTHER THRU THE SIDE WALL.
- 4 NEW WATER HEATER BY PLUMBING CONTRACTOR
- 5 NEW WALL CABINETS AS SELECTED BY OWNER
- 6 EXISTING STAIR TO REMAIN
- 7 NEW SHELIVING, AS SELECTED BY OWNER
- 8 BAR HEIGHT COUNTER AT 48" a.f.f. WITH 2x4 SUPPORT WALL UNDERNEATH
- 9 2x6 STUD WALL, STUDS AT 16" o.c. , 1/2" DRYWALL EACH SIDE
- 10 2x4 STUD WALL, STUDS AT 16" o.c., 5/8" TYPE 'X' DRYWALL, EACH SIDE FOR 1 HR. FIRE RATED ASSEMBLY UL # U386
- 11 EXISTING MASONRY WALL TO REMAIN AS 2 HR. FIRE SEPARATION
- 12 INFILL FIRE WALL OPENING, SEE DETAIL ON SHEET A-2
- 13 NEW VINYL WINDOW AS SELECTED BY OWNER, MAX. U-VALUE - 0.32 TYPICAL
- 14 EXISTING 2X WOOD ROOF RAFTERS @ 16" o.c.
- 15 SISTER NEW 2X WOOD RAFTER TO EXISTING, MATCH SIZE AND TYPE OF EXISTING
- 16 INSTALL DOUBLER AT EACH END OF NEW SKYLIGHT OPENING. 2X WOOD TO MATCH EXISTING WOOD JOIST SIZE AND TYPE.
- 17 NEW 6" CMU INSTALLED FLUSH TO EACH SIDE OF EXISTING WALL
- 18 EXISTING STOREFRONT TO REMAIN AND BE RESTORED TO ORIGINAL DETAIL AND TRIM. ALL GLAZING TO BE REPLACED WITH NEW
- 19 REPLACE EXISTING DOOR, AS SELECTED BY OWNER
- 20 NEW FLOOR FINISHES, AS SELECTED BY OWNER, INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS
- 21 NEW PAVR/CONCRETE PATIO, AS SELECTED AND DESIGNED BY OWNER

REVISIONS:		
NO.:	DATE:	REMARKS:



GATEWAY ARCHITECTURE

MISSOURI STATE CERTIFICATE OF REGISTRATION #PL1252183

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INTERIOR RENOVATIONS & NEW DECK

CLIENT: JEK SEP IRA FUND LLC

1417-1433 TOWER GROVE AVE.
ST. LOUIS, MO. 63110

DRAWING: **NEW FIRST FLOOR PLANS**

DATE: **11-25-19**

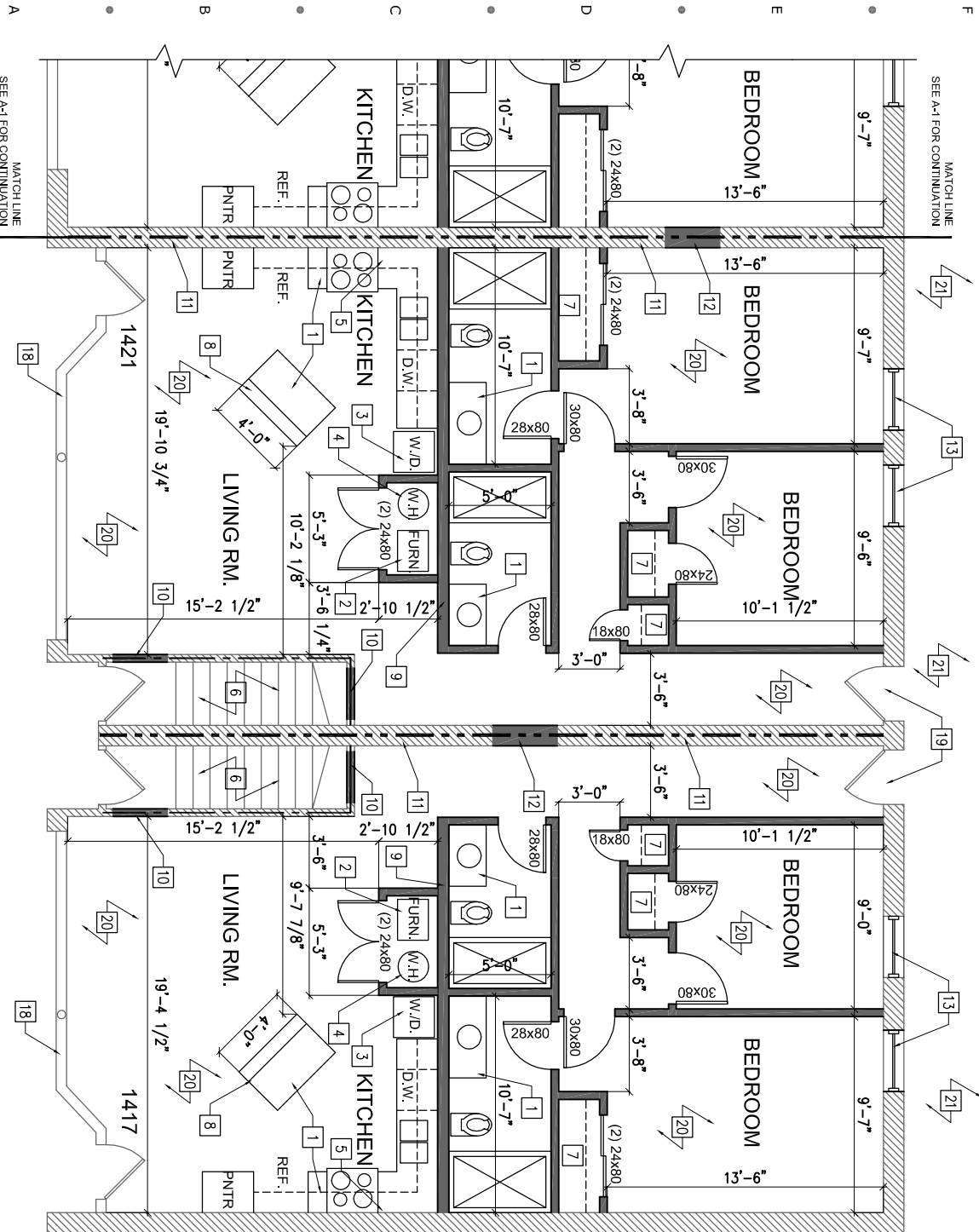
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SHEET NUMBER:

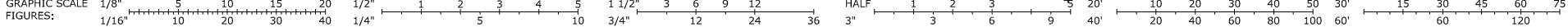
A-2

SIGNED: JASON PLOUGH - ARCHITECT
LICENSE: A-2017019346
DATE: EXPIRES: 12-31-19

NOTE :
60 MINUTE FIRE SEPARATION ASSEMBLY IS REQUIRED IN THE FLOOR ASSEMBLY BETWEEN UNITS ON THE FIRST FLOOR AND SECOND FLOOR.
CONTRACTOR MUST INSTALL THROUGHOUT THE ENTIRE BUILDING THE FOLLOWING:
(1) LAYER OF 5/8" TYPE 'X' DRYWALL ON RESILIENT CHANNELS ON THE BOTTOM OF THE EXISTING SECOND FLOOR WOOD JOISTS. SECOND FLOOR TO HAVE 3/4" WOOD SUBFLOOR THROUGHOUT FOR A CONTINUOUS 1 HOUR FLOOR/CEILING ASSEMBLY.
UL # L598



A1 NEW PARTIAL FIRST FLOOR PLAN
A-2 SCALE: 1/8" = 1'-0"



KEYED NOTES

- 1 NEW BASE CABINETS AND COUNTERTOPS AS SELECTED BY OWNER
- 2 NEW FURNACE. FINAL LOCATION AND DESIGN BY MECHANICAL DESIGN/BUILD CONTRACTOR
- 3 VENT DRIER TO EXTERIOR. VENT RUN NOT TO EXCEED 25'-0" FOR A STRAIGHT RUN. SUBTRACT 5'-0" FOR EVERY ELBOW TURN. VENT TO EXIT RESIDENCE EITHER THRU THE REAR OF HOUSE OR 1/2 WAY BACK OR FURTHER THRU THE SIDE WALL.
- 4 NEW WATER HEATER BY PLUMBING CONTRACTOR
- 5 NEW WALL CABINETS AS SELECTED BY OWNER
- 6 EXISTING STAIR TO REMAIN
- 7 NEW SHELVEING, AS SELECTED BY OWNER
- 8 BAR HEIGHT COUNTER AT 48" a.f.f. WITH 2x4 SUPPORT WALL UNDERNEATH
- 9 INFILL EXISTING OPENING, SEE DETAIL ON SHEET D-1
- 10 2x6 STUD WALL, STUDS AT 16" o.c. , 1/2" DRYWALL EACH SIDE
- 11 EXISTING MASONRY WALL TO REMAIN AS 2 HR. FIRE SEPARATION. SEE DETAIL ON SHEET A-2 FOR CONTINUATION OF FIRE WALL ON ROOF
- 12 NEW STAIRS. SEE DETAILS SHEET A-1
- 13 GUARDRAIL WALL, AS SELECTED BY OWNER, MIN. HT. 36"
- 14 SKYLIGHT ABOVE. SEE ROOF FRAMING DETAIL ON SHEET A-2. INSTALL SKYLIGHT PER MANUFACTURERS WRITTEN INSTRUCTIONS
- 15 NEW VINYL WINDOW, AS SELECTED BY OWNER, MAX. U-VALUE - 0.32 TYPICAL
- 16 NEW DECK. SEE DETAILS ON SHEET A-5
- 17 REPLACE EXISTING DOOR, AS SELECTED BY OWNER
- 18 NEW FLOOR FINISHES, AS SELECTED BY OWNER, INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS
- 19 INSTALL CONTINUOUS MIN. R38 INSULATION IN ROOF/CEILING JOISTS
- 20 GUARDRAIL/GUARDWALL, AS SELECTED BY OWNER, MIN. HT. 36", BALUSTERS AT MAX. 4" o.c.

REVISIONS:		
NO.:	DATE:	REMARKS:

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PHONE: 618-946-5850



INTERIOR RENOVATIONS & NEW DECK
CLIENT: JEK SEP IRA FUND LLC

1417-1433 TOWER GROVE AVE.
ST. LOUIS, MO. 63110

DRAWING: NEW SECOND FLOOR PLANS

DATE:
11-25-19

GA PROJECT NUMBER:
19074

SHEET NUMBER:

A-3

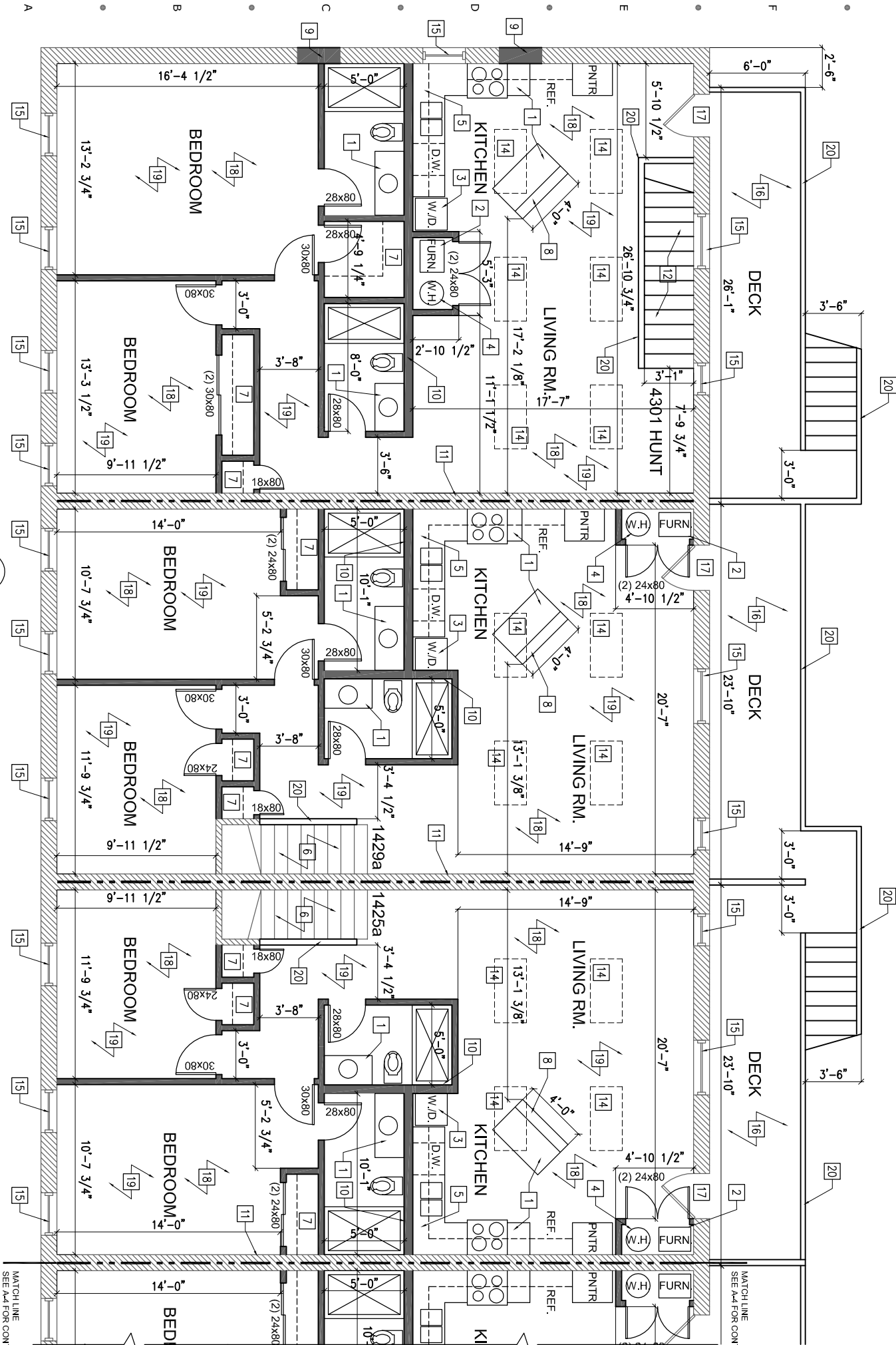
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JASON PLOUGH - ARCHITECT
LICENSE# A-2017019346
DATE:
EXPIRES: 12-31-19



GRAPHIC SCALE
FIGURES:

MATCH LINE
SEE A-4 FOR CONTINUATION

MATCH LINE
SEE A-4 FOR CONTINUATION



A1 NEW PARTIAL SECOND FLOOR PLAN

A-3 SCALE: 1/8" = 1'-0"

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KEYED NOTES

1 TYPICAL: ANCHOR 4x4/6x6 DECK POSTS TO TOP OF CONCRETE PIER WITH SIMPSON CB44/CB66 POST BASE

2 TYPICAL: 12" DIA CONCRETE PIER AT EACH DECK POST. TOP OF PIER TO BE 8" ABOVE TOP OF ADJACENT GRADE OR PAVING. BOTTOM OF PIER TO BE 30" BELOW GRADE OR PAVING AND BELLED TO 24" DIA.

3 5/4x6 TREATED WOOD DECKING ON 2x10 TREATED WOOD JOISTS @ 16"o.c.

4 ANCHOR RAIL END TO TREATED 2x8BOLTED TO WALL WITH (3) 1/2" DIA. EXP. BOLTS

5 ALL RAILINGS ARE REQUIRED TO BE 42" MIN. HT. AND BALUSTERS TO BE MAX. 4"o.c.

6 4x4 TREATED WOOD POSTS AT 4'-0"o.c. MAXIMUM SPACING

7 EXISTING BRICK

8 PREDRILL 9/16" DIA HOLES FOR (4) 1/2" DIA A307 HEX THROUGH BOLTS WITH NUT AND WASHER

9 TOP OF BRACE TO LAP AND BOLT TO (2) 2x8

10 FASTEN 2x8S TO EACH OTHER WITH (8) 16d STAGGERED

11 METAL ANCHOR

12 6x6 TREATED WOOD POST

13 5/4x6 TREATED WOOD DECKING WITH 1/4" SPACE BETWEEN EACH

14 2x10 TREATED WOOD JOISTS AT 16"o.c.

15 2x12 TREATED WOOD BAND BOARD

16 ANCHOR EACH CARRIAGE TO HEADER AT LANDING AND FLOOR FRAMING WITH 1-1/2"x1/8"x16" STEEL STRAP HANGER

17 (2) 2x12'S #1 TREATED S. PINE

18 PREDRILL 13/16" DIA HOLES FOR (2) 3/4" DIA A307 HEX THROUGH BOLTS WITH NUT AND WASHER

19 2x10 NAILER, ANCHOR TO WALL WITH (2) 5/8" DIA EXP. BOLTS @ 16"o.c., 7"MIN. IMBEDMENT INTO MASONRY

20 SIMPSON LUS28Z HANGER AT EACH JOIST

21 6 FOOT HIGH WOOD DECK PRIVACY WALL WITH 1x6 WOOD BOARDS INSTALLED VERTICALLY EACH SIDE OVER 2x6 FRAMING TO RESEMBLE WOOD PRIVACY FENCE

22 2x12" WOOD STRINGERS AT MAX. 16"o.c.

23 2x TREADS: ALL EQUAL DEPTH, MIN. 1 1/4"

24 1x RISERS: ALL EQUAL HEIGHTS, MAX. 8"

25 4"x4" TREAT WOOD POST

REVISIONS:		
NO.:	DATE:	REMARKS:



GATEWAY ARCHITECTURE

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PHONE: 618-946-5850

MISSOURI STATE CERTIFICATE OF REGISTRATION #PL1252183

INTERIOR RENOVATIONS & NEW DECK

CLIENT: JEK SEP IRA FUND LLC

1417-1433 TOWER GROVE AVE.
ST. LOUIS, MO. 63110

DRAWING: DECK PLANS AND DETAILS

DATE:
11-25-19

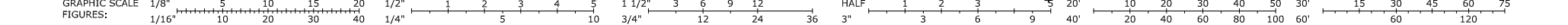
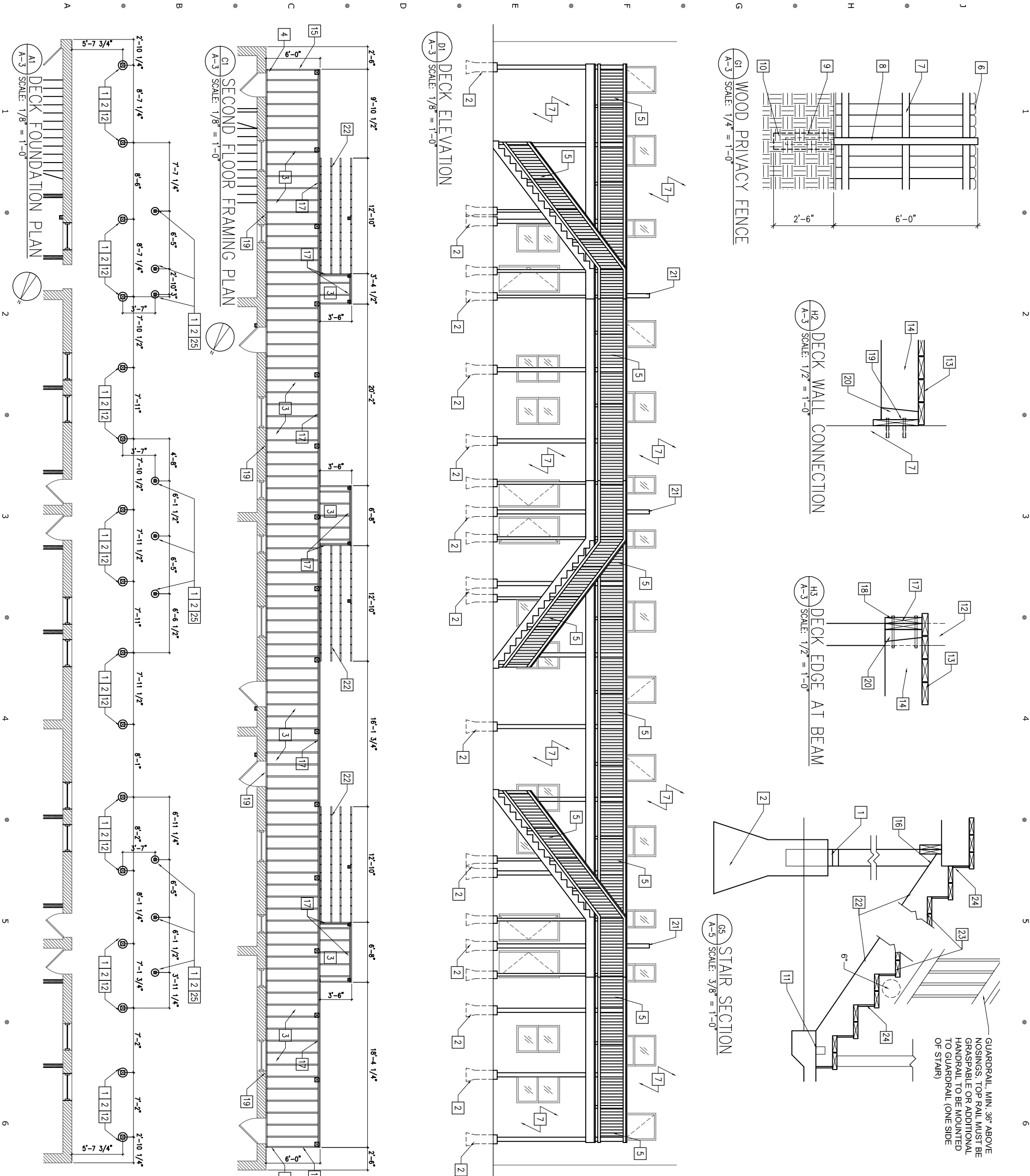
GA PROJECT NUMBER:
19074

SHEET NUMBER:

A-5

SIGNED:
JASON PLOUGH - ARCHITECT
LICENSE# A-2017019346
DATE:
EXPIRES: 12-31-19

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RCP SYMBOL LEGEND:

⑤ SMOKE DETECTOR, HARD WIRED ALL TO SAME ISOLATED CIRCUIT, EACH WITH BATTERY BACKUP.

Ⓢ CARBON MONOXIDE DETECTOR, HARD WIRED ALL TO SAME ISOLATED CIRCUIT, EACH WITH BATTERY BACKUP.

CEILING FAN AS SELECTED BY OWNER

Ⓜ ELECTRICAL OUTLET, GFI AND WEATHER PROOF AS NOTED ON DRAWINGS

☒ PENDANT LIGHT FIXTURE AS SELECTED BY OWNER

☐ RECESSED CAN LIGHT FIXTURE AS SELECTED BY OWNER

→

RECESSED CAN LIGHT FIXTURE AS SELECTED BY OWNER

LIGHT FIXTURE AS SELECTED BY OWNER

☒ E.F. EXHAUST FAN WITH LIGHT FIXTURE AS SELECTED BY OWNER VENT TO EXTERIOR

T

THERMOSTAT

NOTE

NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

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PHONE: 618-946-5850

GATEWAY ARCHITECTURE

MISSOURI STATE CERTIFICATE OF REGISTRATION #PL1252183

INTERIOR RENOVATIONS & NEW DECK
CLIENT: JEK SEP IRA FUND LLC
 1417-1433 TOWER GROVE AVE.
 ST. LOUIS, MO. 63110

DRAWING: **ELECTRICAL FIRST FLOOR PLANS**

DATE:	11-25-19
GA PROJECT NUMBER:	19074
SHEET NUMBER:	E-1

SIGNED:
JASON PLOUGH - ARCHITECT
LICENSE: A-2017019346
DATE:
EXPIRES: 12-31-19



1

2

3

4

5

6

7

RCP SYMBOL LEGEND:

- Ⓢ SMOKE DETECTOR, HARD WIRED ALL TO SAME ISOLATED CIRCUIT, EACH WITH BATTERY BACKUP.
- Ⓒ CARBON MONOXIDE DETECTOR, HARD WIRED ALL TO SAME ISOLATED CIRCUIT, EACH WITH BATTERY BACKUP.

CEILING FAN AS SELECTED BY OWNER.



ELECTRICAL OUTLET, GFI AND WEATHER PROOF AS NOTED ON DRAWINGS



PENDANT LIGHT FIXTURE AS SELECTED BY OWNER



RECESSED CAN LIGHT FIXTURE AS SELECTED BY OWNER



LIGHT FIXTURE AS SELECTED BY OWNER



EXHAUST FAN WITH LIGHT FIXTURE AS SELECTED BY OWNER VENT TO EXTERIOR

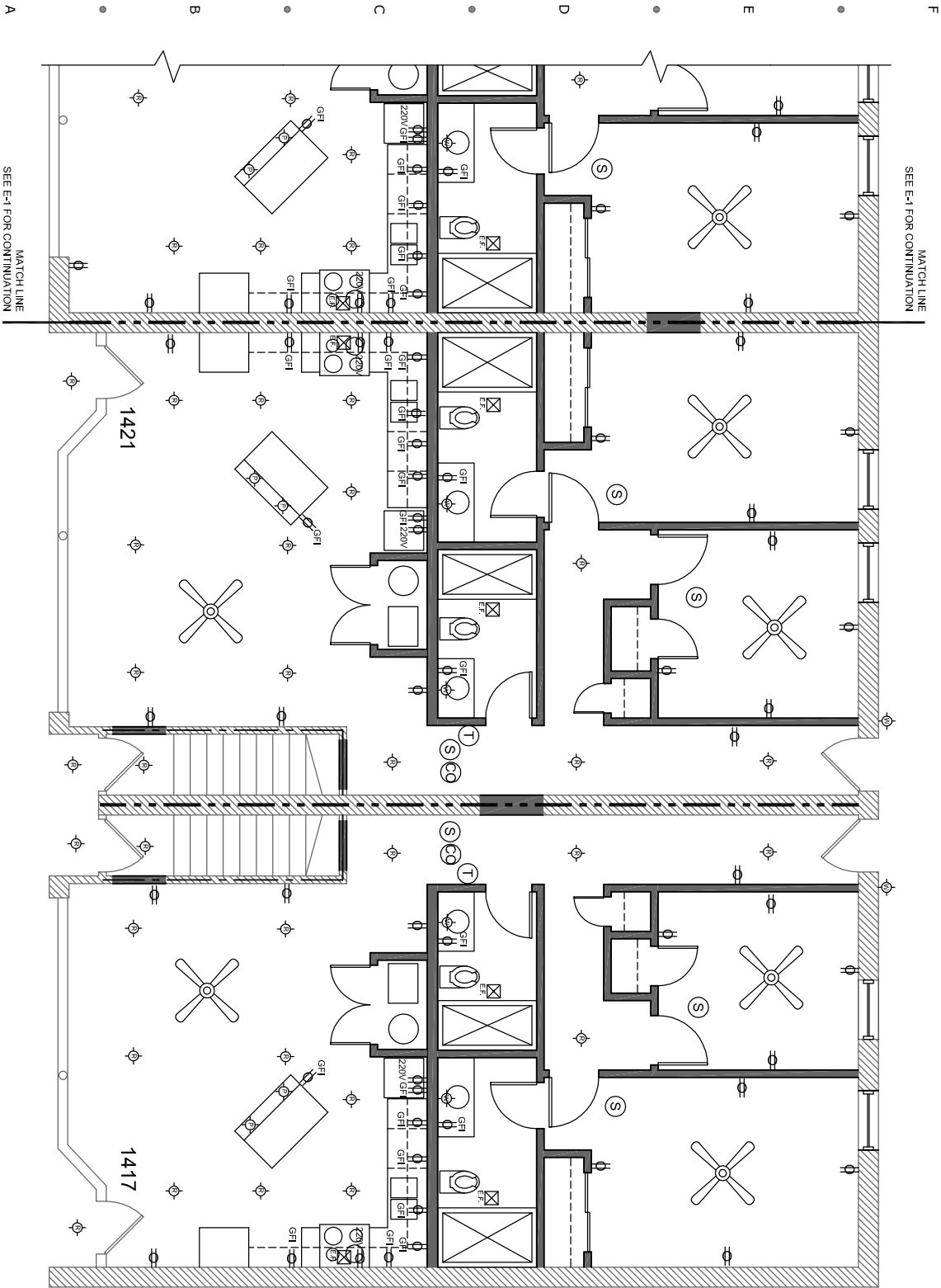


THERMOSTAT



NOTE:

NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.



ELECTRICAL PARTIAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



REVISIONS:		
NO.:	DATE:	REMARKS:

ILLINOIS:
P.O. Box 251
Goodfrey, IL,
62035

MISSOURI:
2604 Lucille Station Rd.,
St. Louis, MO,
63143

PHONE: 618-946-5850

MISSOURI STATE CERTIFICATE OF REGISTRATION #PL1252183

INTERIOR RENOVATIONS & NEW DECK

CLIENT: JEK SEP IRA FUND LLC

1417-1433 TOWER GROVE AVE.
ST. LOUIS, MO. 63110

DRAWING: ELECTRICAL FIRST FLOOR PLANS

DATE: 11-25-19

GA PROJECT NUMBER: 19074

SHEET NUMBER: E-2

SIGNED:
JASON PLOUGH - ARCHITECT
LICENSE: A-2017019346
DATE:
EXPIRES: 12-31-19

ARCHITECTURAL SEAL



4440
Manchester
Ave. Grove
Lofts





Research Brewery)

mbucha

ter Ave

4500-4508
Manchester
e Monocle
10 parking Spots

van Ave

S Taylor Ave

S Taylor Ave

100

Manchester Ave

Manchester Ave

100

Sign Shop

S Newstead Ave

Fresh Art Photography

S Newstead Ave

Grove Lofts (4428-
4440 Manchester)
30 Covered parking Spaces

4419-21 Swan
4 parking
Spots

4413-17 Swan
7 parking Spots

4427 Swan
3 parking
Spots

4439, 4443-45, 4447-49 Swan
10 parking Spots

4459 & 4461 Swan
4 parking
Spots

1114-24 Newstead
28-surface parking
spots under
construction

Swan Ave

Swan Ave

Swan Ave

Swan Ave

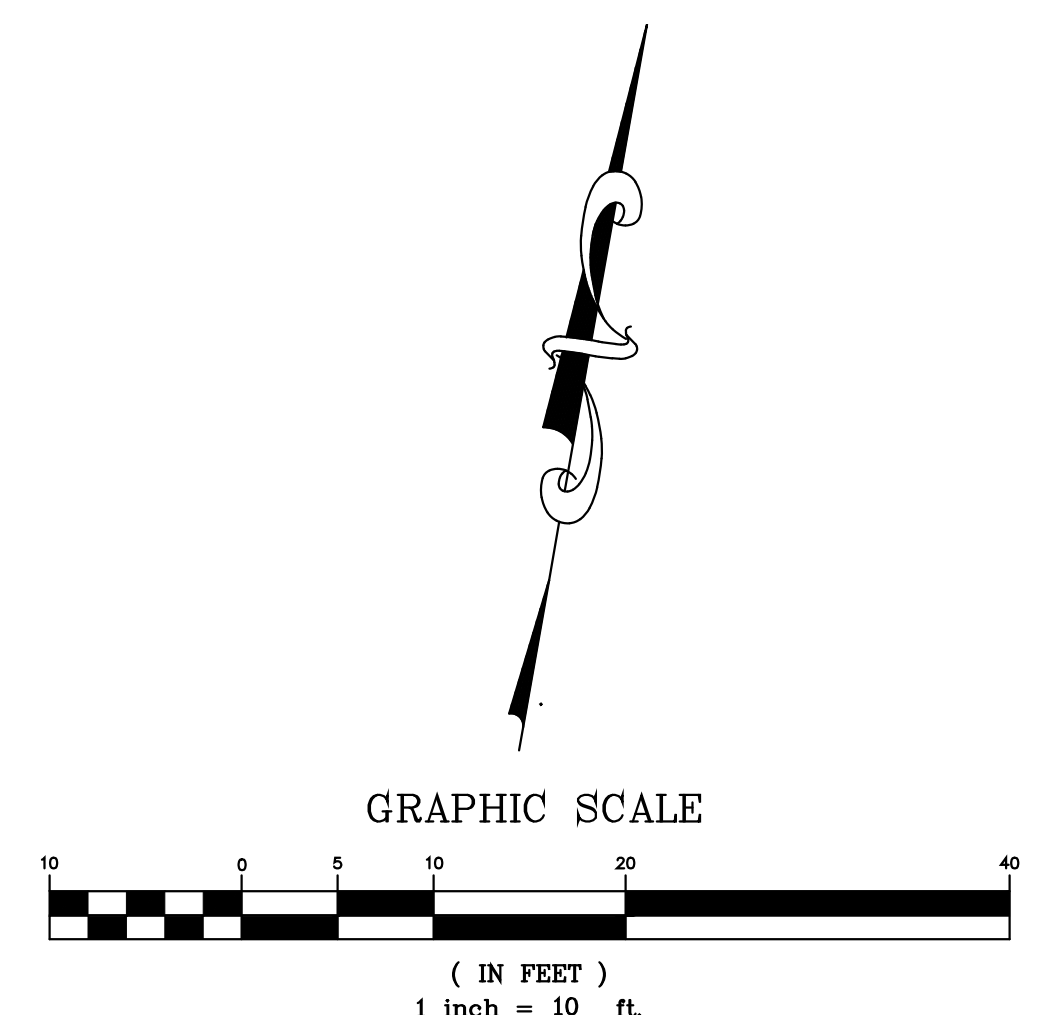
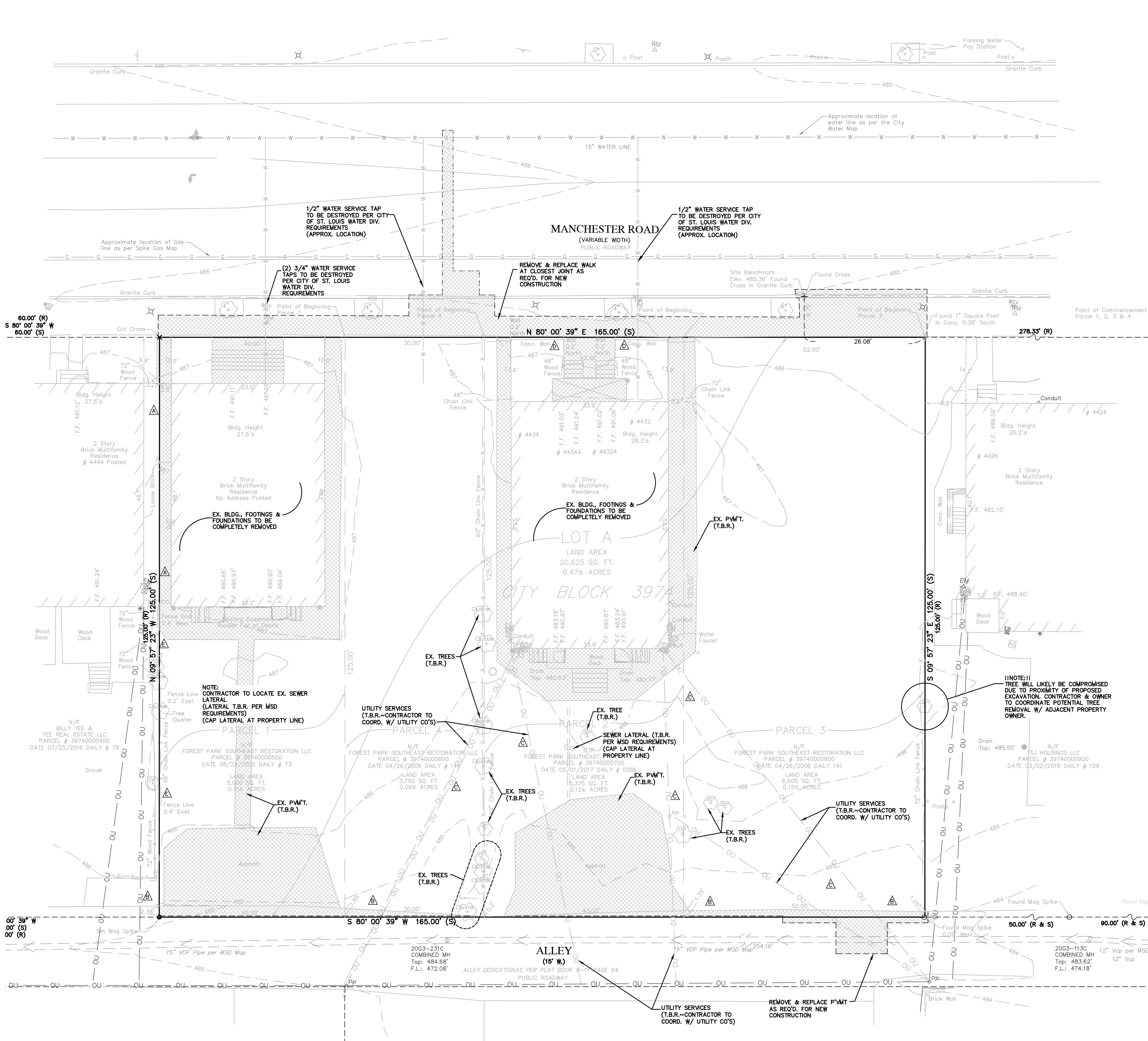
Swan Ave

S Newstead Ave

S Newstead Ave

Google My Maps

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Go to Set



SURVEYORS NOTES OF INTEREST

- Existing loose bricks extends from building to building as shown on this survey.
- Existing asphalt alley extends into the subject parcel as shown on this survey.
- Existing overhead utilities lie within the subject parcel and do not lie within an easement listed in the title commitment provided.
- Existing concrete wall extend into the right of way of Manchester Avenue as shown on this survey.
- Existing 48" chain link fence of unknown ownership as shown on this survey.

LEGEND FOR PAVEMENT REMOVAL

PAVEMENT TO BE REMOVED

GENERAL NOTES

- ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAYS CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL BE REQUIRED TO BE FAMILIAR WITH ALL EXISTING CONDITIONS AT THE SITE PRIOR TO SUBMITTING BID OR STARTING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES THAT MAY EXIST BETWEEN THE CONTRACT DOCUMENTS AND REQUEST CLARIFICATION IN WRITING PRIOR TO THE BID.
- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION PARKING WITH THE OWNER AND/OR THE CITY OF ST. LOUIS STREETS DEPARTMENT.
- CONTRACTOR SHALL VERIFY EXISTING UTILITY SERVICES ARE CAPPED OR REMOVED AND/OR ABANDONED AS REQUIRED PER THE SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCY.
- PROVIDE PROTECTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES INDICATED TO REMAIN IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL PER THE CITY OF ST. LOUIS STREET DEPARTMENT STANDARDS TO MINIMIZE TRAFFIC DISRUPTION WITHIN RIGHT-OF-WAY OF ADJACENT ROADS.
- ALL DEBRIS RESULTING FROM THE DEMOLITION OF PAVEMENTS, CURBING, STRUCTURES, FOUNDATION AND FOOTINGS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS.
- PUBLIC UTILITY FACILITIES SUCH AS MANHOLES, METER AND VALVE BOXES OF GAS, ELECTRIC AND TELEPHONE WILL BE ADJUSTED OR RELOCATED BY THE VARIOUS UTILITY COMPANIES. ADJUSTMENT OF UTILITY AND SEWER FACILITIES NOT PROVIDED BY THE UTILITY COMPANIES WILL BE PROVIDED BY THE CONTRACTOR AS NECESSARY.
- DESIGN OF SHORING FOR UTILITY AND SEWER TRENCHES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- NO BURNING OF TREES, OVERGROWTH, DEBRIS, BRUSH, OR ANY MATERIAL ALLOWED ON SITE.
- ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED PER MSD SPECIFICATIONS.
- THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURES WILL BE DETERMINED BY THE MSD FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE THEN THE TOP SHALL BE ADJUSTED TO GRADE IF NEEDED. CONTRACTOR TO PROVIDE ADD ALTERNATE ITEMIZED COST FOR THE REMOVAL AND REPLACEMENT OF EXISTING STRUCTURES AND INCIDENTAL REPAIR & REPLACEMENT OF PAVEMENT, CURBS, ETC. AS REQUIRED SHOULD MSD INSPECTOR REQUIRE ITS REMOVAL AND REPLACEMENT.
- THE GEOTECHNICAL REPORT SHALL BE CONSIDERED PART OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE REPORT WHICH SHALL BE USED AS THE BASIS FOR CONSTRUCTION MEANS AND METHODS.
- LIMITS OF DISTURBANCE: THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS AND MINIMIZE DISTURBANCE WITHIN THE WORK AREA WHEREVER POSSIBLE.
- GRANITE CURBING INDICATED TO BE REMOVED AND SAVED SHALL BE DELIVERED TO THE CITY STORAGE YARD AT 9214 RIVERVIEW DRIVE, ST. LOUIS, MISSOURI.
- WATER SERVICE TAPS TO BE DESTROYED:
#4440 MANCHESTER: (2) 3/4" TAPS LOCATED 137' AND 138' EAST OF EAST PROPERTY LINE OF TAYLOR AVE. (PER CITY WATER)
#4438 MANCHESTER: 1/2" TAP LOCATED 172' EAST OF EAST PROPERTY LINE OF TAYLOR AVE. (PER CITY WATER)
#4432 MANCHESTER: 1/2" TAP LOCATED 342' WEST OF WEST PROPERTY LINE OF NEWSTEAD AVENUE.

PAUL K. BOYER, P.E. E-28258
CIVIL ENGINEER
CEDC LICENSE NO.: 2003004674

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314.729.1400
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CEDC

CIVIL ENGINEERING
DESIGN CONSULTANTS

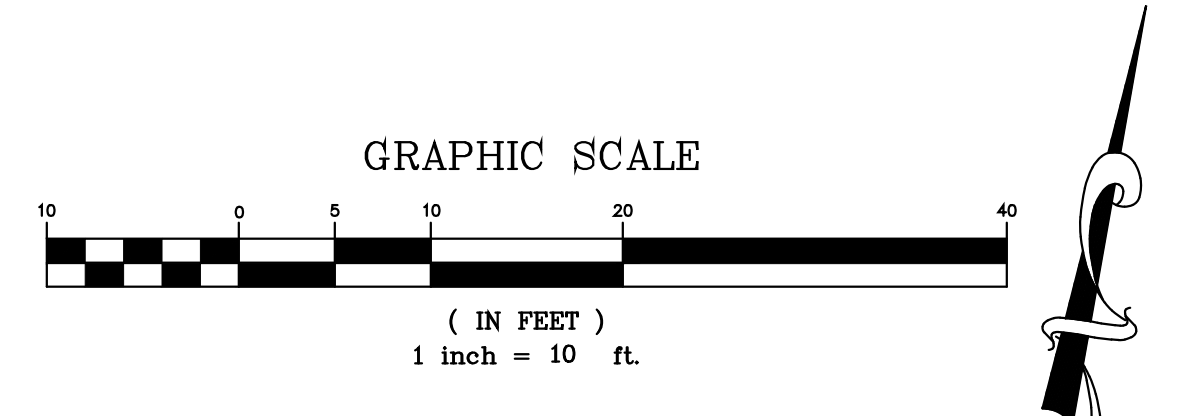
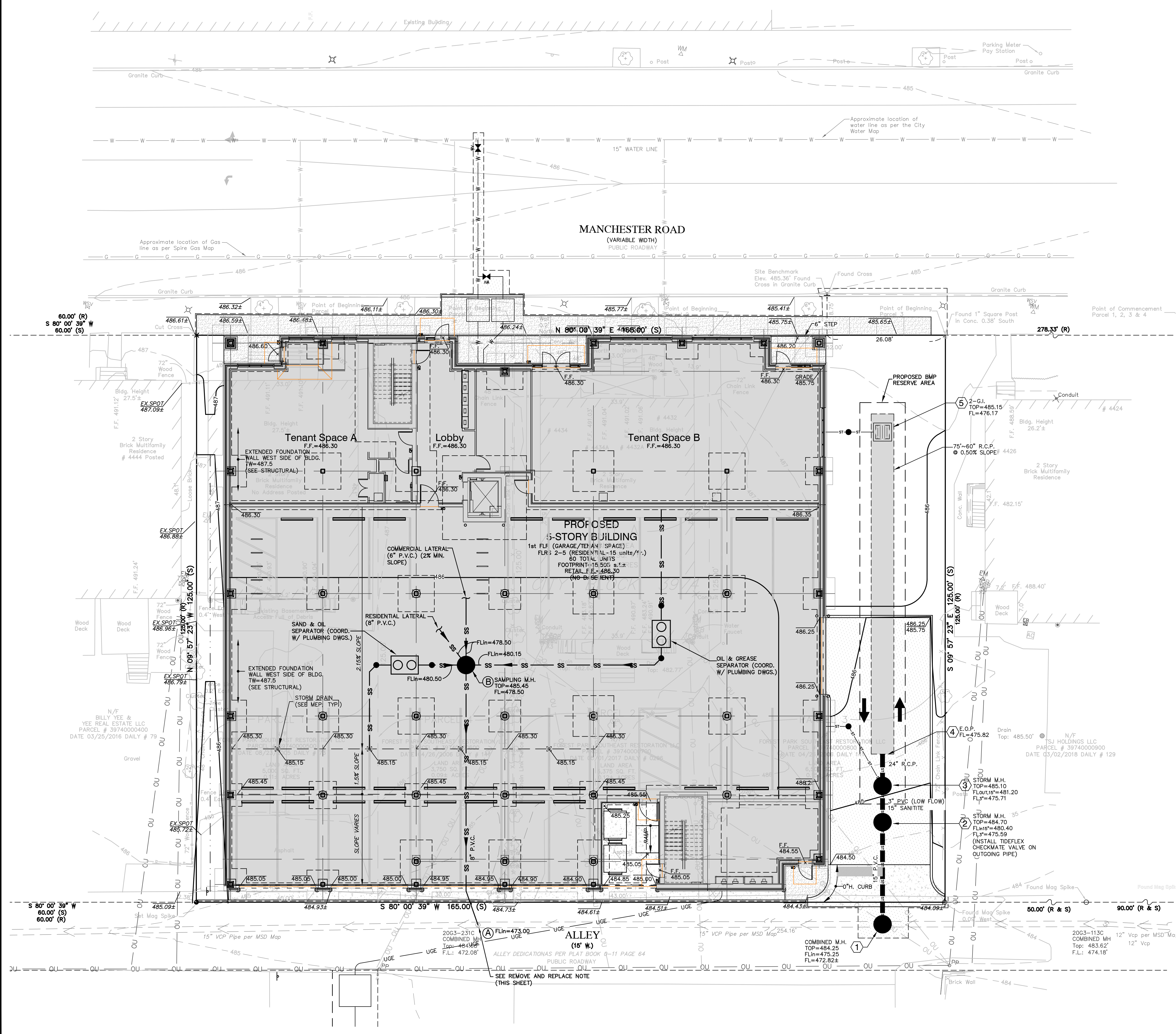
Improve Plans for a
MIXED-USE DEVELOPMENT
4440 Manchester Road, St. Louis, MO 63110

Proj. # 1903		
No.	Description	Date
Submittal		05/28/19
MSD Resubmittal		07/15/19
City Submittal		07/26/19

Existing
Conditions and
Facilities
Removal Plan

DRAWING NO.

C3



- ### GENERAL NOTES
- 1.) ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF ST. LOUIS.
 - 2.) ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAYS CLEAN AT ALL TIMES.
 - 3.) THE CONTRACTOR SHALL BE REQUIRED TO BE FAMILIAR WITH ALL EXISTING CONDITIONS AT THE SITE PRIOR TO SUBMITTING BID OR STARTING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES THAT MAY EXIST BETWEEN THE CONTRACT DOCUMENTS AND REQUEST CLARIFICATION IN WRITING PRIOR TO THE BID.
 - 4.) THE CONTRACTOR SHALL COORDINATE CONSTRUCTION PARKING WITH THE OWNER AND/OR THE CITY OF ST. LOUIS STREETS DEPARTMENT.
 - 5.) CONTRACTOR SHALL VERIFY EXISTING UTILITY SERVICES ARE CAPPED OR REMOVED AND/OR ABANDONED AS REQUIRED PER THE SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCY.
 - 6.) PROVIDE PROTECTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES INDICATED TO REMAIN IN PLACE.
 - 7.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL PER THE CITY OF ST. LOUIS STREET DEPARTMENT STANDARDS TO MINIMIZE TRAFFIC DISRUPTION WITHIN RIGHT-OF-WAY OF ADJACENT ROADS.
 - 8.) ALL DEBRIS RESULTING FROM THE DEMOLITION OF PAVEMENTS, CURBING, STRUCTURES, FOUNDATION AND FOOTINGS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS.
 - 9.) PUBLIC UTILITY FACILITIES SUCH AS MANHOLES, METER AND VALVE BOXES OF GAS, ELECTRIC AND TELEPHONE WILL BE ADJUSTED OR RELOCATED BY THE VARIOUS UTILITY COMPANIES. ADJUSTMENT OF UTILITY AND SEWER FACILITIES NOT PROVIDED BY THE UTILITY COMPANIES WILL BE PROVIDED BY THE CONTRACTOR AS NECESSARY.
 - 10.) DESIGN OF SHORING FOR UTILITY AND SEWER TRENCHES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - 11.) NO BURNING OF TREES, OVERGROWTH, DEBRIS, BRUSH, OR ANY MATERIAL ALLOWED ON SITE.
 - 12.) ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED PER MSD SPECIFICATIONS.
 - 13.) THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURES WILL BE DETERMINED BY THE MSD FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE THEN THE TOP SHALL BE ADJUSTED TO GRADE IF NEEDED. CONTRACTOR TO PROVIDE ADD ALTERNATE ITEMIZED COST FOR THE REMOVAL AND REPLACEMENT OF EXISTING STRUCTURES AND INCIDENTAL REPAIR & REPLACEMENT OF PAVEMENT, CURBS, ETC. AS REQUIRED SHOULD MSD INSPECTOR REQUIRE ITS REMOVAL AND REPLACEMENT.
 - 14.) THE GEOTECHNICAL REPORT SHALL BE CONSIDERED PART OF THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE REPORT WHICH SHALL BE USED AS THE BASIS FOR CONSTRUCTION MEANS AND METHODS.
 - 15.) LIMITS OF DISTURBANCE: THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS AND MINIMIZE DISTURBANCE WITHIN THE WORK AREA WHEREVER POSSIBLE.
 - 16.) A BACKWATER VALVE SHALL BE REQUIRED ON ALL SANITARY BUILDING LATERALS PER CITY OF ST. LOUIS PLUMBING CODE.
 - 17.) SLOPES AT ALL DOORS SHALL BE 1.5% ± 0.5% FOR 60-IN. IN ALL DIRECTIONS

- ### SANITARY SEWER NOTES
1. GREASE INTERCEPTOR: GREASE INTERCEPTOR TO BE LOCATED IN AN ACCESSIBLE LOCATION FOR MSD INSPECTION. GREASE INTERCEPTOR TO PROVIDE MEANS FOR VISUAL INSPECTION FROM ABOVE FOR BOTH THE INFLUENT AND EFFLUENT SIDES. MSD SAMPLING MANHOLE TO BE LOCATED ON A PRIVATE LATERAL IN AN ACCESSIBLE LOCATION FOR MSD SAMPLING. SAMPLING MANHOLE SHALL BE LOCATED DOWNSTREAM OF GREASE INTERCEPTOR AND ALL OTHER COMMERCIAL SANITARY LATERALS TO FACILITATE MSD SAMPLING. GREASE INTERCEPTORS AND SAMPLING MANHOLES SHALL BE SHOWN ON THE PLANS AND NOT BE LOCATED IN DRIVE-THRU LANES OR WITHIN PARKING SPACES.
 2. SANITARY LATERALS: LATERALS TO BE 6-INCH PVC AND CONSTRUCTED AT A 2.0% MINIMUM SLOPE.
 3. REMOVE, REPLACE, OR REHAB NOTE: THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE WILL BE DETERMINED BY THE MSD FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.
 4. SHOP DRAWINGS FOR BMPS: MSD SHOP DRAWING SUBMITTAL REQUIRED FOR BMP AND ITS COMPONENTS PRIOR TO CONSTRUCTION. MSD CONTACT: PLEASE CONTACT THE DISTRICT'S CONSTRUCTION MANAGEMENT DIVISION AT (314) 335-2072 FOR QUESTIONS.

SANITARY FLOW ESTIMATE

AVERAGE DAILY FLOW
USING MSD GUIDELINES FOR SANITARY WASTE AS LISTED IN
CHAPTER 3 - DESIGN REQUIREMENTS FOR SANITARY SEWERS (3.03.04 & 3.03.05)
RESIDENTIAL (APARTMENTS/CONDOMINIUMS) : 100 GALLONS PER PERSON PER DAY
RESIDENTIAL POPULATION/UNIT = 3.7 PERSONS/UNIT
CONVERSION RATE: 1 GPM = 0.002228 C.F.S.

RESIDENTIAL FLOW
= 60 UNITS * 3.7 PERSONS/UNIT = 222 PERSONS
= (222 PERSONS * 100 GAL/DAY) / (24 HR * 60 MIN/HR)
= 15.42 GPM

COMMERCIAL*
= (60 DFU / 4 * 7.5 GPM/DFU)
= 112.50 GPM

TOTAL AVERAGE DAILY FLOW (ADF)
= 15.42 GPM + 112.50 GPM
= 127.92 GPM

PEAK HOURLY FLOW (PHF) = ADF * 4
= 127.92 GPM * 4
= 511.68 GPM
= 1.14 C.F.S.

GREASE INTERCEPTOR = 1000 GALLONS
OIL & SAND INTERCEPTOR = 125 GALLONS

*TENANTS FOR COMMERCIAL SPACES HAVE NOT BEEN DETERMINED
THE FOLLOWING ASSUMPTIONS APPLY TO THE COMMERCIAL CALCULATIONS
• COMMERCIAL CALCULATION IS FOR BOTH COMMERCIAL SPACES
• ASSUME COMMERCIAL SPACES ARE OPEN 12 HOURS / DAY
• 60 DFU ASSUMED (PEAK FLOW)

PAUL K. BOYER, P.E. E-28258
CIVIL ENGINEER
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CIVIL ENGINEERING
DESIGN CONSULTANTS

Improve Plans for a
MIXED-USE DEVELOPMENT
4440 Manchester Road, St. Louis, MO 63110

Proj. # 1903

No.	Description	Date
Submittal	05/28/19	
MSD Resubmittal	07/15/19	
City Submittal	07/26/19	

Site and Grading
Plan

DRAWING NO.

C4

